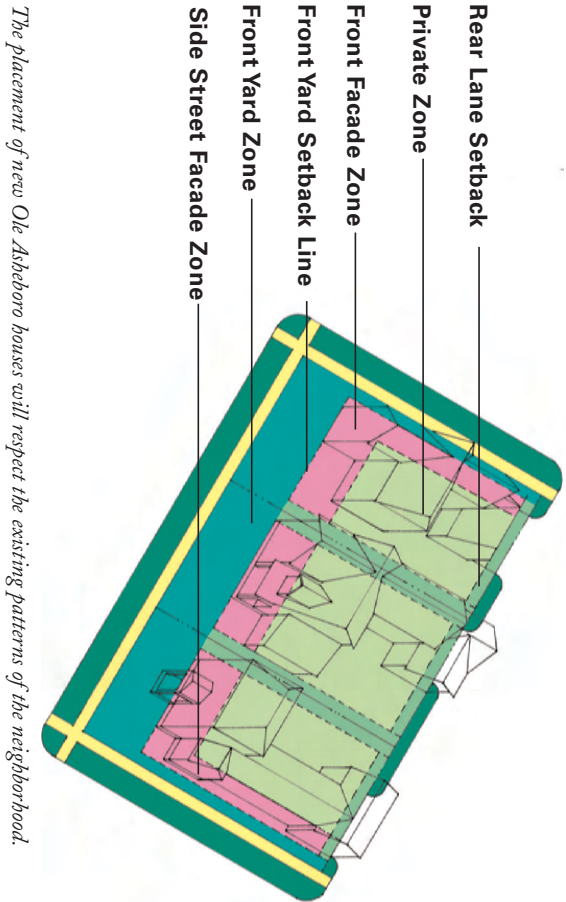


Setback Requirements

The **Design Guidelines for Community Patterns** define how buildings should be situated on the various lot types proposed throughout the neighborhood. Each lot type has a series of zones and setback lines that define the placement of the building on the lot and its relationship to adjacent houses on the street and throughout the neighborhood. These setback lines and building zones create consistent and coordinated street space meant to preserve the valued, historic residential patterns in Ole Asheboro.

The tems in boldface type below refer to specific areas and characteristics of a lot. The size of these zones and the placement of the buildings on the lot with respect to these zones may vary from one lot type to another, creating a diverse, yet harmonious set of streetscapes for Ole Asheboro as the neighborhood is redeveloped. The following areas occur on all lot types and define the difference between lots and their greater street environments.

The **Front Facade** is the front wall of the house and shall be placed within the **Front Facade Zone**. The **Front Facade Zone** is a setback from the front property line at a distance defined by the **Front Yard Setback Line**. Porches and bay windows most often project into the front yard. On corner lots, a **Side Street Facade Zone** is established adjacent to the cross street along the side of the house. A house is set back from the side property line a defined distance (per the individual lot types described on the following pages). Some lots will have a **Rear Lane Setback**. This area defines the distance from the rear service drive on which a structure, such as a garage, can be located.

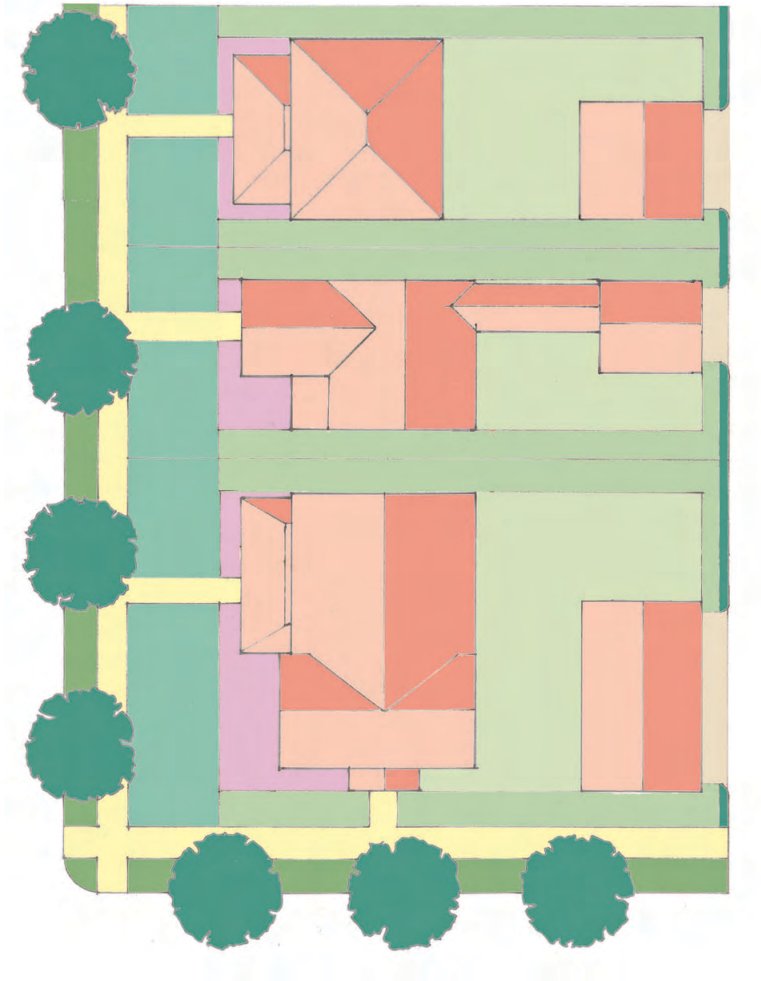
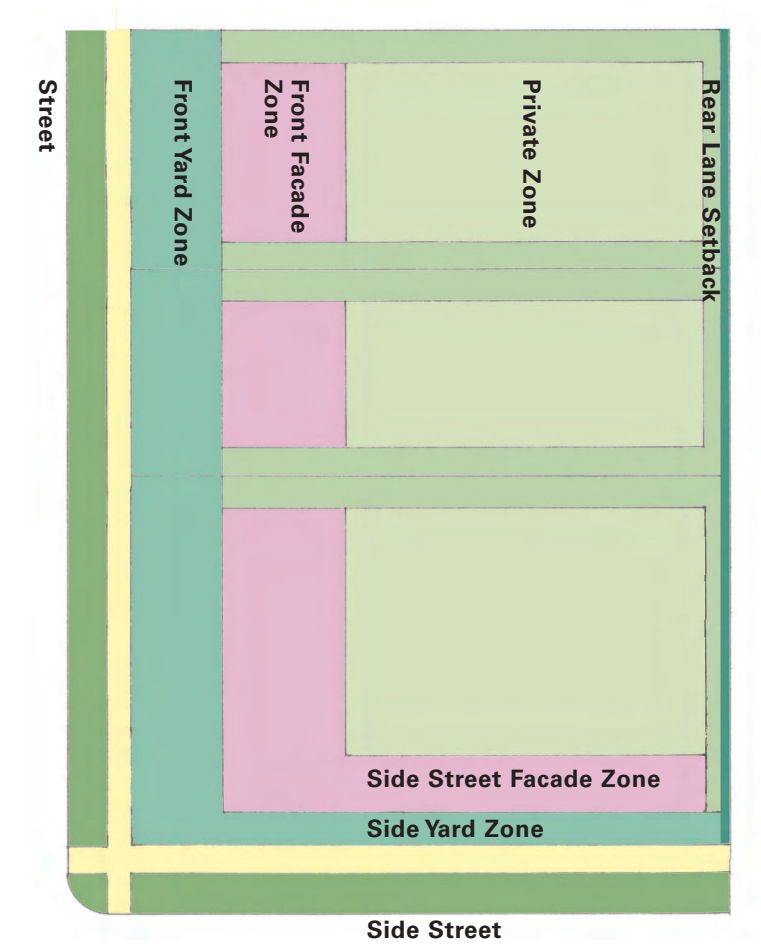


The placement of new Ole Asheboro houses will respect the existing patterns of the neighborhood.



Diagram of the Ole Asheboro neighborhood illustrating the setbacks and zones for new construction.

Setbacks & Zones



Lot Specifications



Elevation of typical neighborhood houses

Lot Size

Width: 35 feet to 45 feet mid-block and 50 feet to 60 feet on corners.

Depth: 100 feet to 120 feet.

Front Facade Zone/

Front Yard Setback

The front facade of the house must be located between 10 feet and 20 feet from the front property line. Front facades generally should be aligned with adjacent houses to create a consistent streetscape.

Side Yard Setback

Five feet from adjacent lots.

Side Street Setback/

Side Street Facade Zone

The side facade of the house must be located between 10 and 15 feet from the side street property line. Side porches, entrances, and bay windows are encouraged in the Side Street Facade Zone.

Rear Service Drive

Five feet from the rear property line.

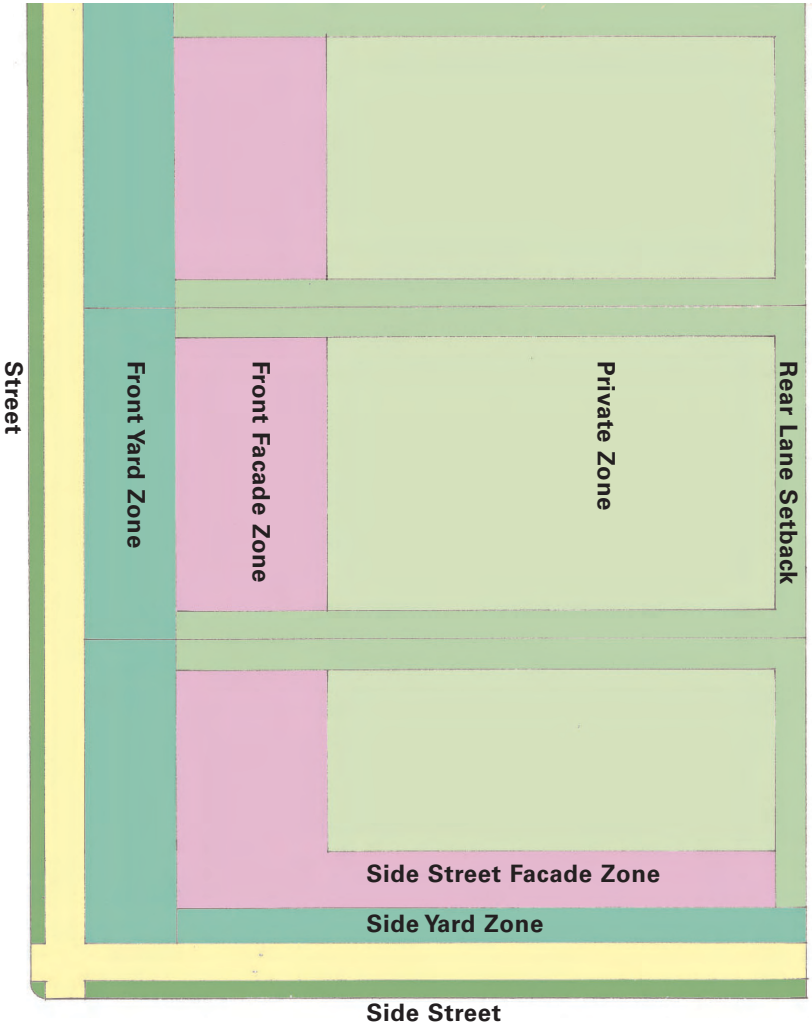
Porch Encroachments

Porches, of varying types and sizes, are encouraged to extend a maximum of 10 feet into the Front Facade Zone.

Garage Requirements

Garages should be placed 5 feet from the rear property line at the Rear Service Drive. Garages can be either attached or detached from the house. Garages are required on corner lots to define the public edge and screen the views of back yards. Garages should be placed on the Side Street Setback Line. Driveway width should not exceed 10 feet.

New Neighborhood Lots - Rear-Loaded



Lot Specifications

Lot Size

Width: 45 feet to 55 feet mid-block and 50 feet to 65 feet on corners.
Depth: 100 feet to 120 feet.

Front Yard Facade Zone/

Front Yard Setback

The front facade of the building should match that of the adjacent house or mediate gaps where house setbacks vary widely.

Side Yard Setback

Five feet from adjacent lots midblock.

Side Street Setback/ Side Street Facade Zone

Side facades should be located between 10 and 15 feet from the side street property line. Side porches, entrances, and bay windows are encouraged in this zone.

Porch Encroachments

Porches are encouraged to extend a maximum of 10 feet into the Front Facade Zone.

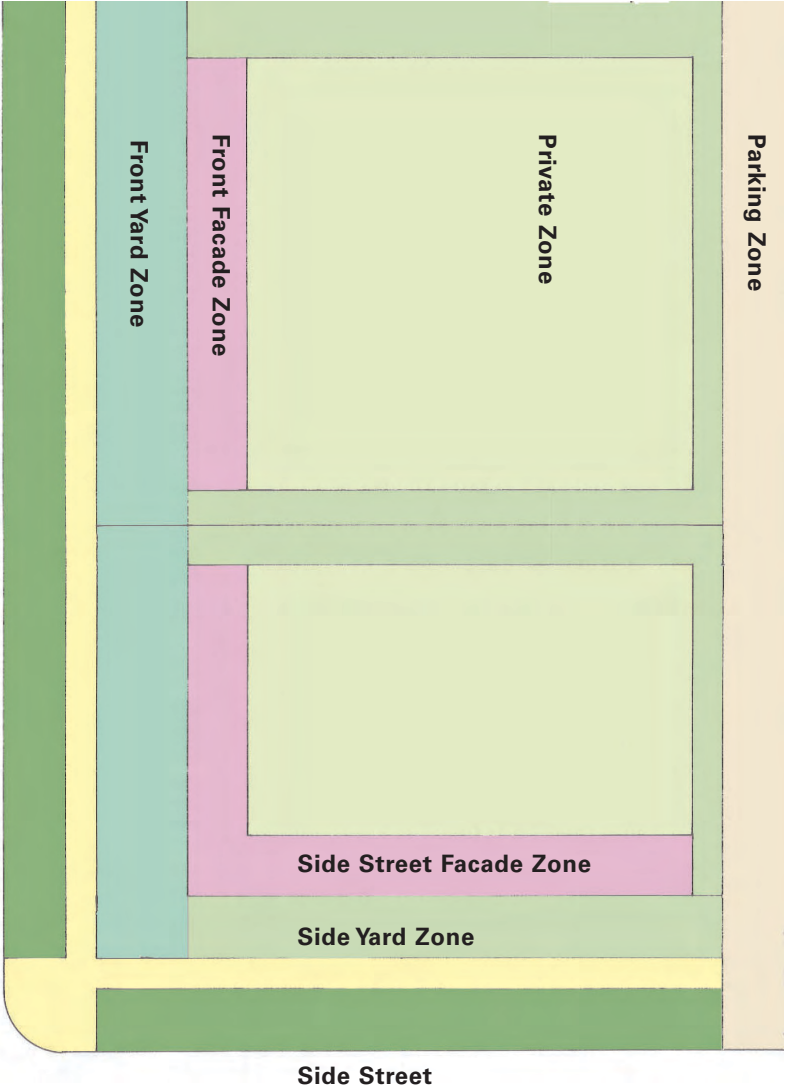
Garage Requirements

Garages should be detached from the house. Garage doors facing the street should be located behind the main body of the house. Garages can be placed to the rear of the lot forming the back edge of the back yard. Garages are required on corner lots, and should be placed on the Side Street Setback Line. These can be accessed from the side street. Driveway width should not exceed 10 feet.



Elevation of typical neighborhood houses

Existing Neighborhood Lots - Infill, Front-Loaded

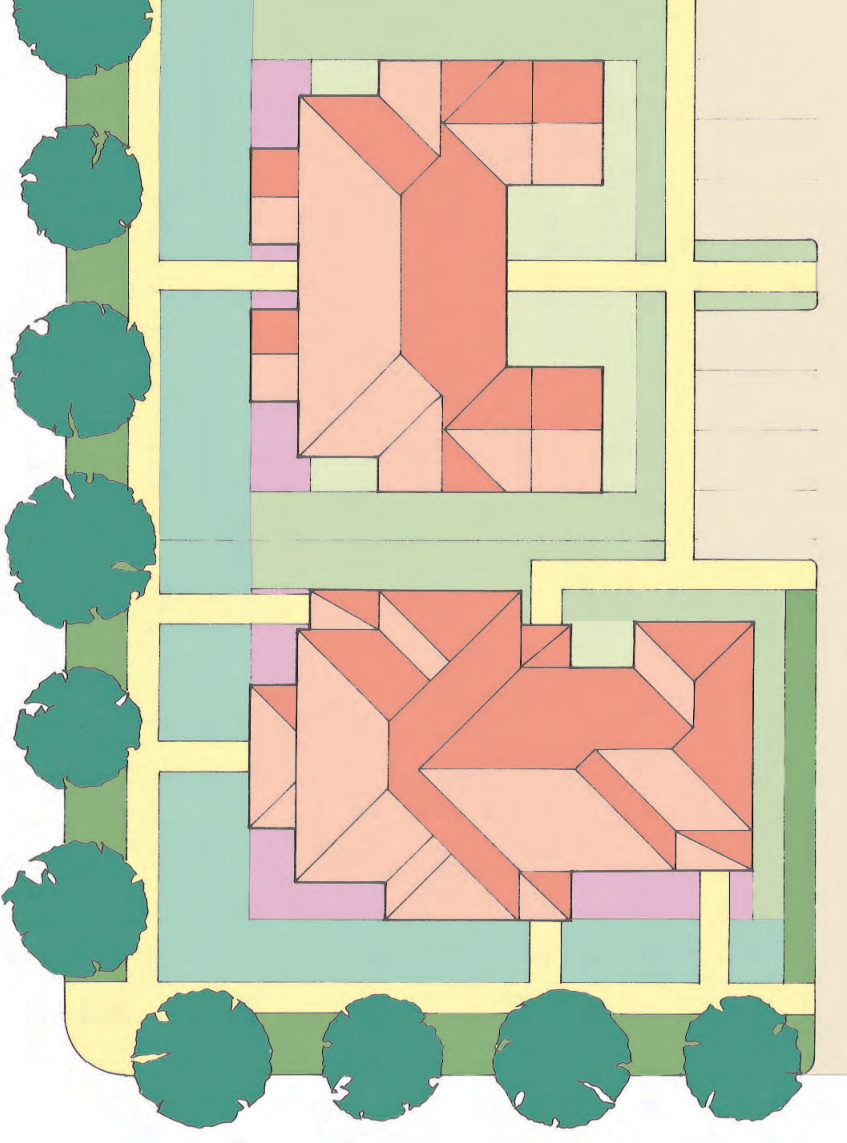


Lot Specifications



Elevation of typical apartment buildings

Apartment Lots



Lot Size

Width : 70 feet to 90 feet mid-block, 85 feet to 105 feet on corners.

Depth : 100 feet to 120 feet.

Front Facade Zone/ Front Yard Setback

The front facade of the building should be a maximum of 25 feet and a minimum of 15 feet from the front property line. Apartments located on Lee Street and Bennett Street should be set back a minimum of 20 feet and a maximum of 30 feet from the street.

Side Yard Setback/ Side Street Facade Zone

Side facades must be located between 10 and 15 feet from the side street property line. Side entrances, porches, and bay windows are encouraged in this zone. The Side Street Setback Line is 15 feet from the side street property line.

Rear Service Drive Setback

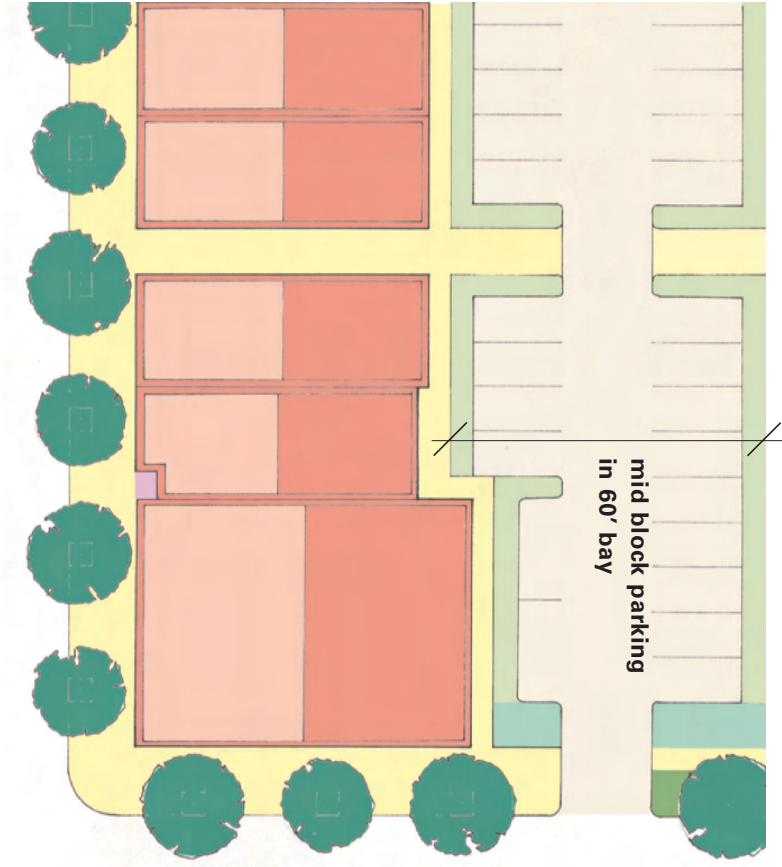
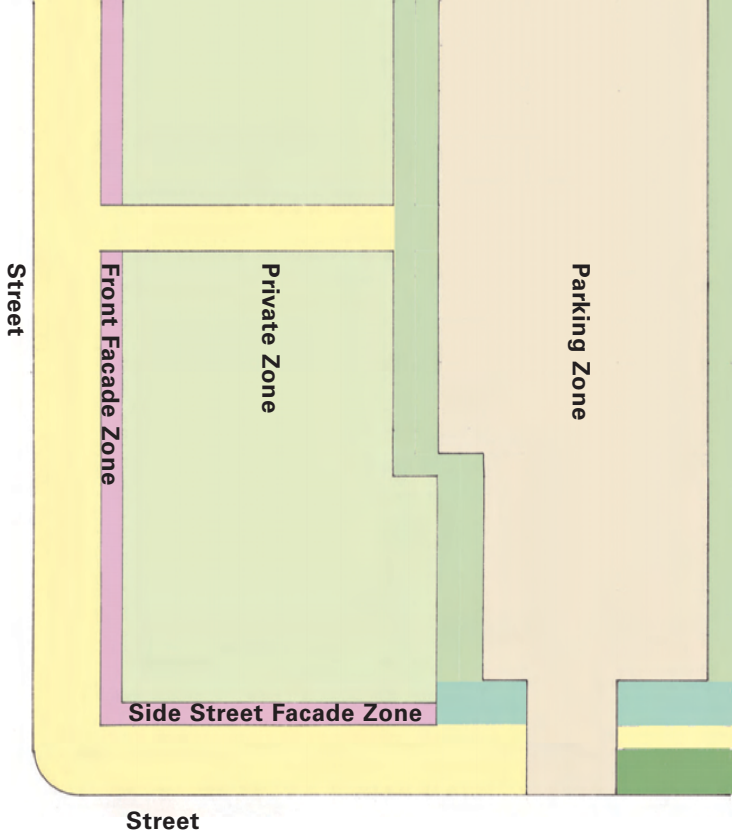
Buildings should be located a minimum of 15 feet from the rear parking zone.

Porch Encroachments

Porches are encouraged and may extend a maximum of 10 feet into the Front and Side Street Facade Zones.

Garage Requirements

Garages are optional and should be placed 5 feet from the rear property line.



Lot Specifications



Perspective of mixed-use buildings

Mixed-Use Lots

Lot Size
Lot widths vary, there are no minimum or maximum dimensions except to respect typical traditional types. Lot depths should be a minimum of 80 feet to accommodate rear parking and circulation.

**Front Facade Zone/
Front Yard Setback**
The front facade of the building should be located between zero and 5 feet from the front property line. The buildings should create a continuous street wall. Gaps between buildings should be no greater than 10 feet to provide public

access to parking. There should be only one or two gaps in a street wall of 300 feet.

**Side Street Setback/
Side Street Facade Zone**

The side facade should be located between 0 and 10 feet from the side street property line. Zero lot line is recommended. Sidewalks connecting the parking zone and the front sidewalk at intervals between buildings are encouraged.

Rear Lane Setback

Buildings should be set back from the rear property line a minimum of 25 feet

to accommodate a single bay of parking and a maximum of 75 feet to accommodate two bays of parking and a sidewalk along the rear of the building.

Garage and Parking Requirements

Parking structures are encouraged and should be located behind buildings at the center of the block. A 30-foot alley should be located between the parking garage and the rear of buildings to accommodate service and circulation.

Surface parking should occur mid-block in orderly 60-foot bays.

Use requirements

Ground-floor uses must be active and pedestrian-oriented per the City of Greensboro Traditional Neighborhood Development Ordinance.



Colonial Revival



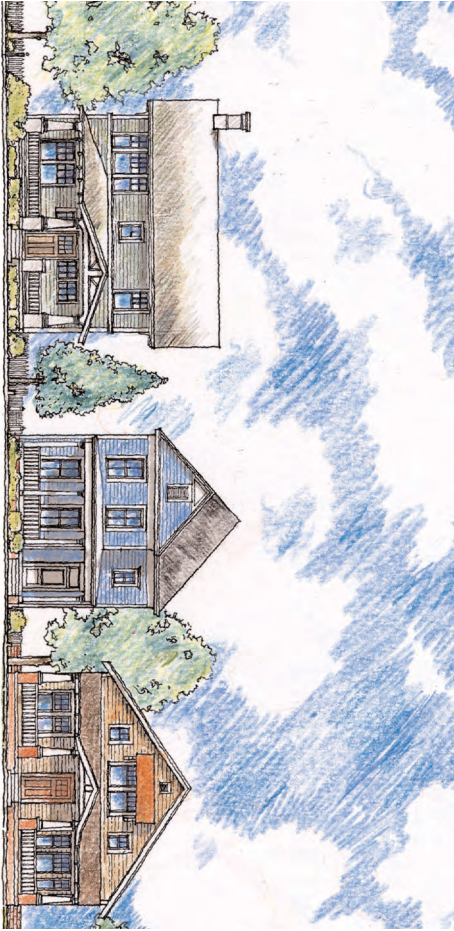
Victorian



Craftsman



Mixed-Use



Architectural Design Guidelines

OLE ASHEBORO HOUSES have a distinctive character that defines the neighborhood within the greater City of Greensboro. While several of the traditional houses in Ole Asheboro remain and some have even been restored, there is a substantial mix of early twentieth century architectural styles that make up much of the neighborhood fabric. In recent years, new housing has been built that creates a distinctly different character when compared to the historic styles found throughout the neighborhood. The proposed guidelines are intended to lead design and development of new housing in ways that build upon the neighborhood’s unique sense of place and character. Three architectural vocabularies will define the neighborhood – Colonial Revival, Victorian, and Craftsman. These styles are found throughout the historic neighborhoods in Greensboro such as Ole Asheboro, Fisher Park, and Aycock. The architectural guidelines on the pages which follow call for houses to be designed in one of these three vocabularies to both strengthen and pre-serve the distinct quality of the neighborhood.

Architectural Character



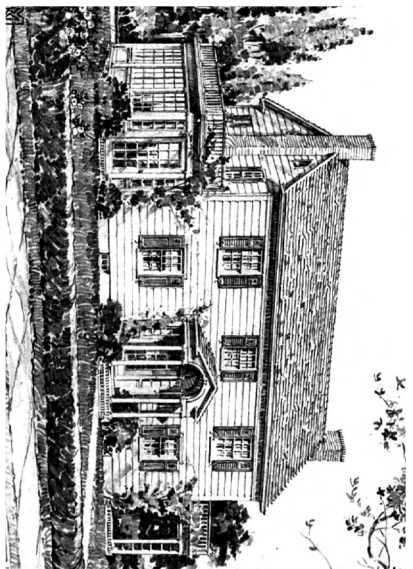
Two-story hip massing with wraparound porch



Two-story side gable massing with front porch



Two-story gambrel massing with front porch



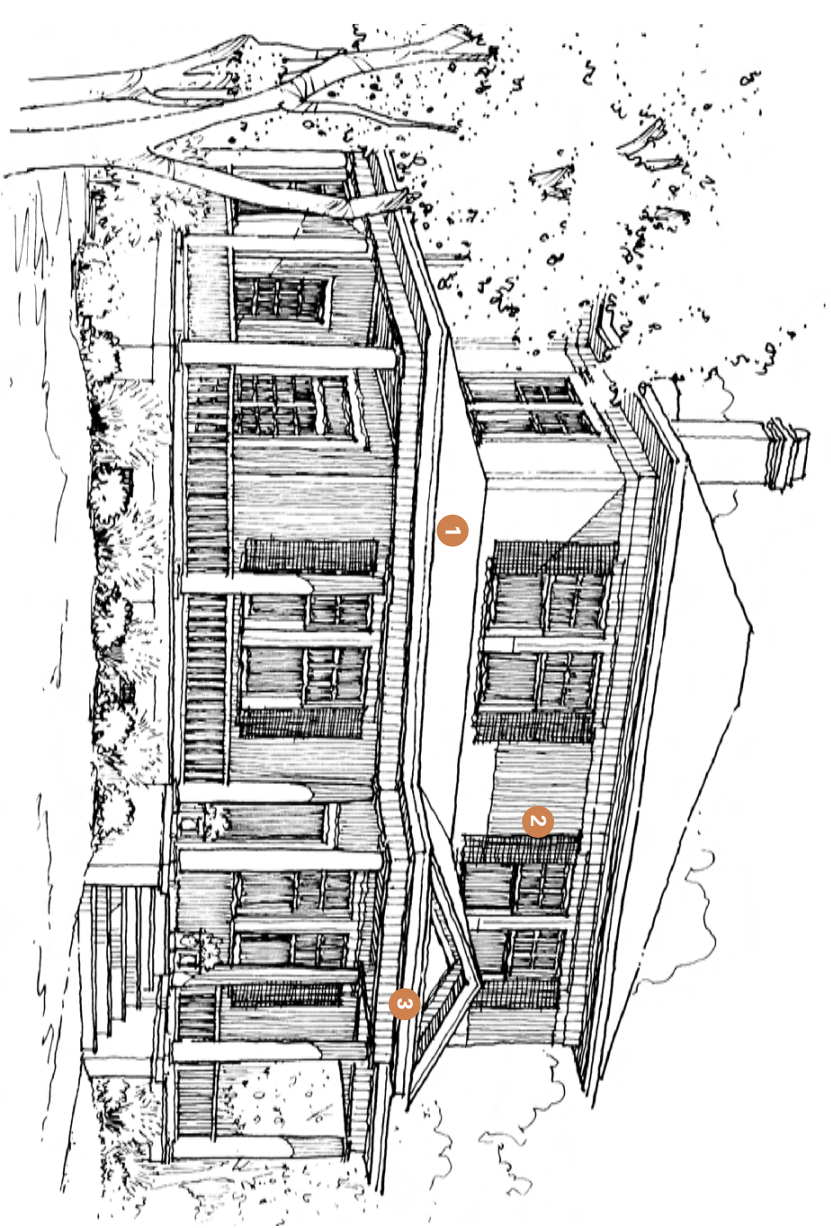
Historical character sketch of a Colonial Revival House

History & Character

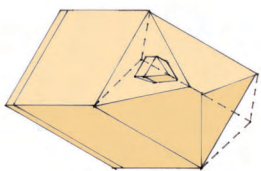
THE OLE ASHEBORO COLONIAL REVIVAL house is based on Colonial Revival styles prevalent throughout the country in the late nineteenth and early twentieth centuries. Elements from Classical and Colonial houses were combined and modified to produce a new revival vocabulary that became popular in the latter part of the nineteenth century. This mingling of architectural elements produced a wide variety of expressions and forms in the Colonial Revival house. Many of these houses have elaborate entrances, cornice treatments, and window compositions. Windows tend to be wider in proportion and more free in composition than the original Classical houses. Many of the houses incorporate deep front porches, running the entire face of the front facade and often wrapping around the side. Accent windows are often used over the central door location.

Essential Elements of Ole Asheboro Colonial Revival

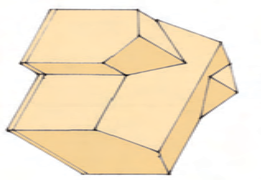
- 1 Simple, straightforward volumes with porches added to make more complex shapes
- 2 An orderly, symmetrical relationship between windows, doors, and building mass
- 3 Simplified versions of Classical details and columns, occasionally with Classical orders used at the entry



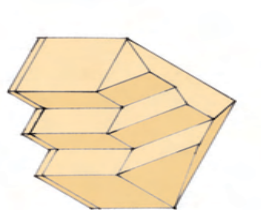
Ole Asheboro Colonial Revival



A Two-story Narrow



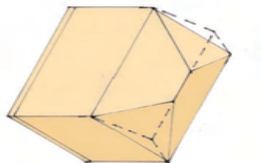
B Two-story Cross Gable



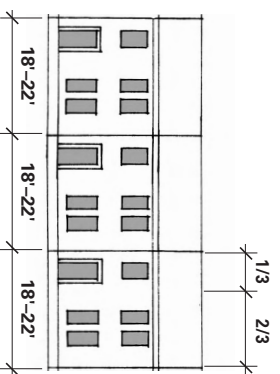
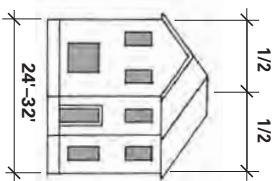
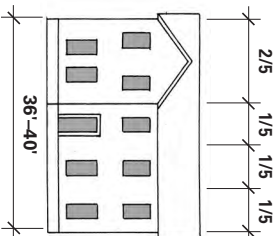
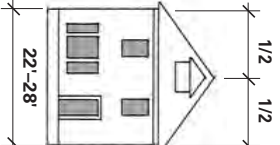
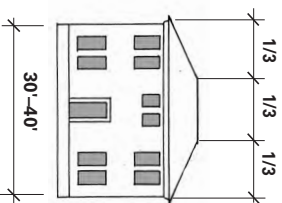
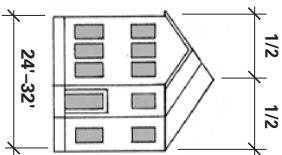
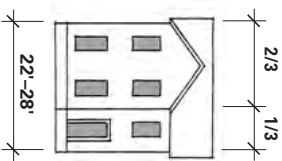
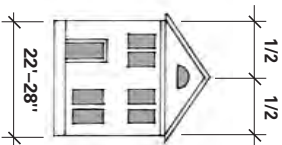
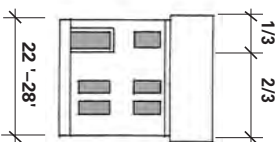
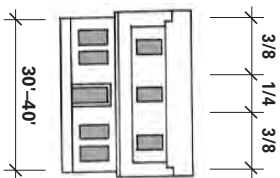
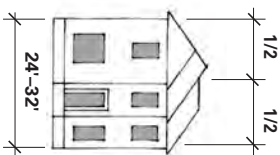
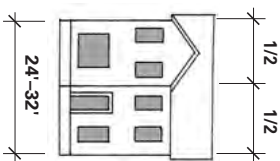
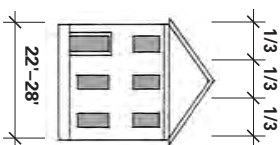
C Two-story Gable-L



D Gambrel



E Two-story Basic



Massing and Composition

Massing

A Two-Story Narrow

Hipped or front-gabled rectangular volume. Roof pitch is typically 6 to 8 in 12. Gabled- or hipped-front porches are common. Porches may be either one- or two-story.

B Two-Story Cross Gable

Cross-gabled volume with an 6 to 8 in 12 gable facing the street. The width of the gable facing the street is typically one-half to two-thirds the width of the main body for houses up to 32 feet wide, and two-fifths that of the main body for houses 36 feet and over. This massing typically accommodates a continuous porch with shed roof located between the legs of the L.

C Two-Story Box-L

Hipped or side-gabled volume with a 6 to 8 in 12 pitch and intersecting front and side wings. The front-facing wing may have either a gable- or hipped-front. The relationship of the front wing is typically two-thirds the width of the main body with the side wing projecting an equivalent amount to create a nesting effect. This massing typically accommodates a porch with shed roof wrapping the main body between the two wings.

D Gambrel

Rectangular volume with a gambrel roof parallel to the street. Roof pitch is nearly vertical on the lower slope and 6 in 12 at the top. One-story temple front porches centered on the front facade or full-front, integral porches are typical.

E Two-Story Basic

Hipped or side-gabled rectangular volume. Roof pitch is typically 6 to 8 in 12. One-story temple front or hip front porches, placed symmetrically on the front facade. Two-story center porches are also permitted. Porches are most often one-fifth the length of the main body, and, occasionally, three-fifths or the entire length of the front facade.

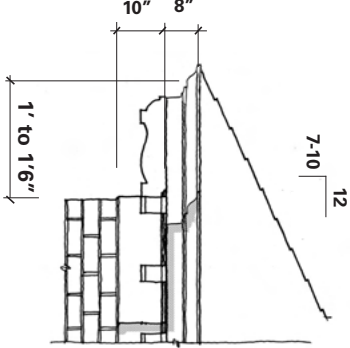
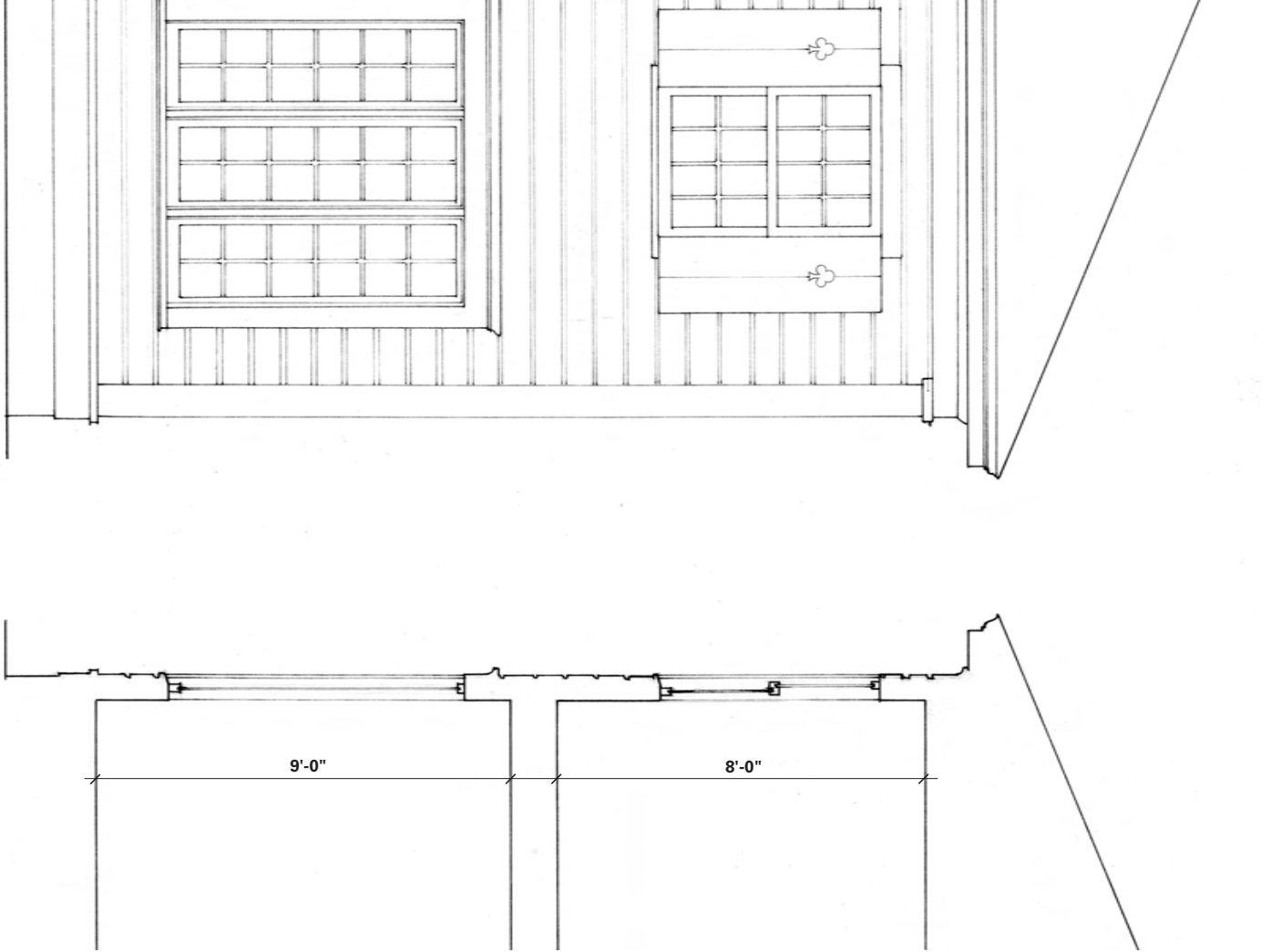
Facade Composition

Colonial Revival facade composition is characterized by a symmetrical and balanced placement of doors and windows. Standard windows most often occur as singles, or in pairs. Entrance doors are generally located in the corner of narrow houses and the center of wide houses.

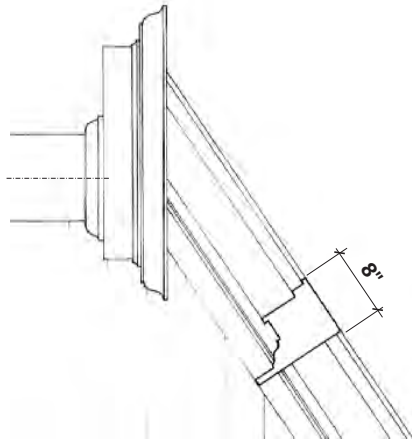
Combinations

Complex forms and larger living spaces may be created by combining side and/or rear wings with the main body. The architectural character of the attached parts should match that of the main body. Wings must also conform to all set back requirements (see *Community Patterns*).

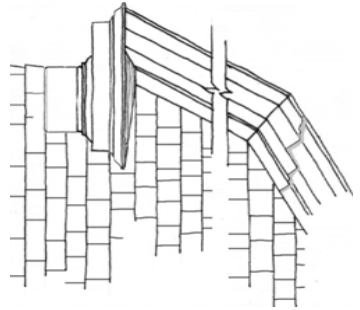
Ole Ashboro Colonial Revival



Deep Bracket Boxed Eave



Boxed Eave Return



Typical Mansard Eave

Wall Section & Eave Details

Roof

The roof pitch on Colonial Revival houses varies from 6 to 10 in 12. For Gable L forms, the pitch on the street facing gables range from 8 to 10 in 12.

Eaves

The Ole Asheboro Colonial Revival house typically have one of three eave profiles:

- A** Boxed eave, with an 8-inch soffit depth; shallow soffit on the rake, the classic Colonial Revival eave detail.
- B** Deep boxed eave with heavy brackets, frequently used with hipped roofs.
- C** Boxed eave modified for gambrel roofs.

Eave profiles typically have an 8- to 12-inch frieze board above the window head trim. This frieze board may either touch the window head trim directly, or rest above.



Wall

One-story houses have a minimum floor-to-ceiling height of 10 feet. Two-story houses have a minimum floor-to-ceiling height of 9 feet on the first floor, and 8 feet on the second floor. Standard window head heights are 8 feet on the first floor, and 7 to 8 feet on the second floor. On clapboard houses, corner boards should be minimum nominal 5/4 by 6 inches.

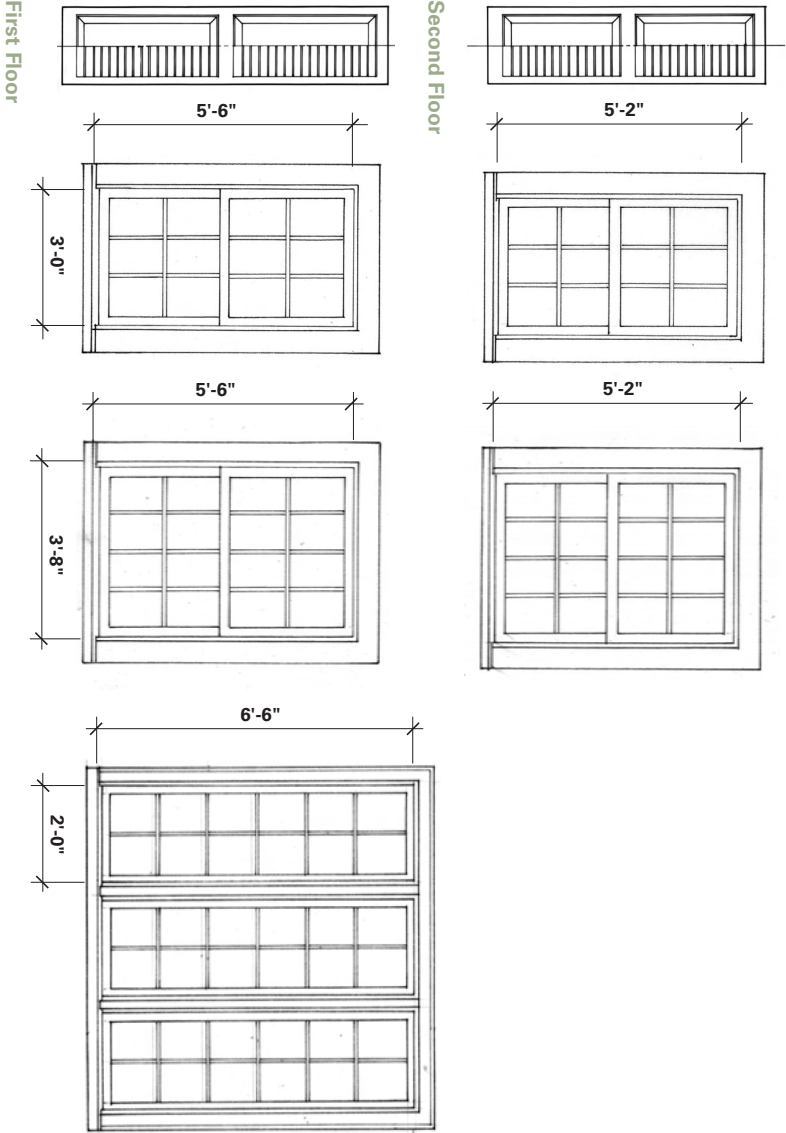
Base

The first floor of the Colonial Revival house is set a minimum of 30 inches above finished grade. On stucco or brick houses, the water table should project 2 inches from the wall. Clapboard houses should have an 8-inch high skirt board. When foundation vents are used, they should be centered under windows.

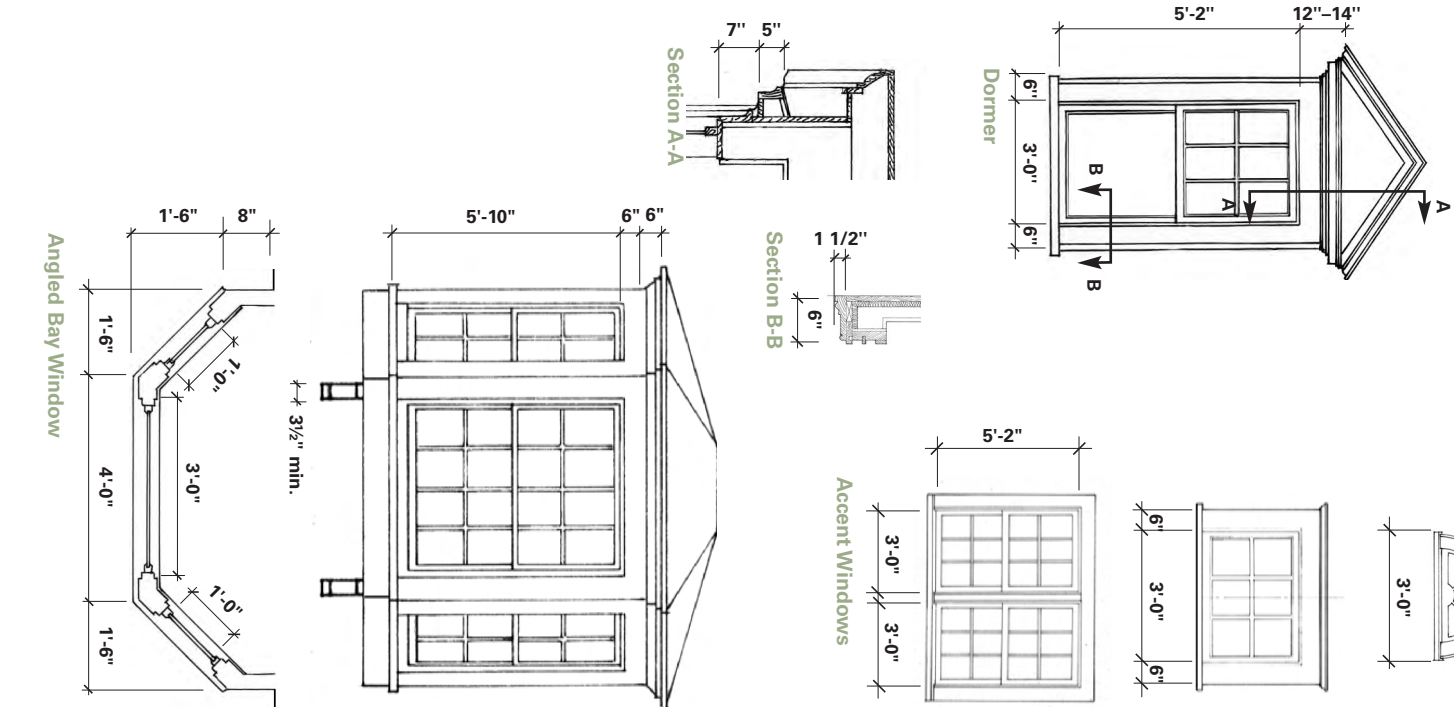


Ole Asheboro Colonial Revival

Windows



Special Windows



Windows & Doors

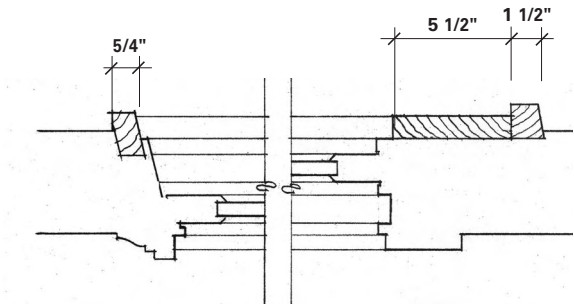
Standard Windows

Window openings are typically horizontal in proportion. Single windows are typically wide double-hung with 8 over 8 patterned sash. Paired and triple windows are either double-hung with 6 over 6 patterned sash or tall casement windows at the first floor below a single wide double-hung. Casement windows in groups of two or three on the first floor are encouraged for Garrison Revival houses.

Special Windows

Special windows include angled bay windows, picture windows, and pedimented dormer. Bay windows should extend to the ground whenever possible, otherwise bay windows supported on heavy brackets are acceptable. Small square and rectangular windows are often used as an accent in gable ends or on the second floor above the entrance.

Typical Window Detail



Doors

Doors typically have six panels, while surrounds frequently incorporate side lights and transoms. Doors are typically 6-feet 8-inches tall and 3-feet wide.

Trim

Windows and doors feature a 6-inch-wide flat trim with or without a cap molding, or a 6-inch backband trim. Brick buildings feature 2-inch brick-mold.

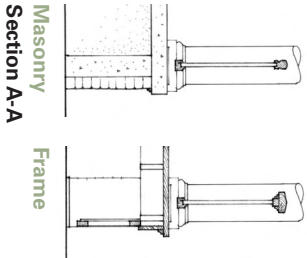
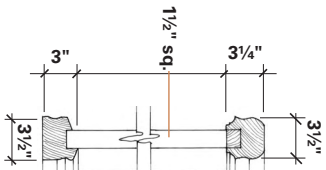
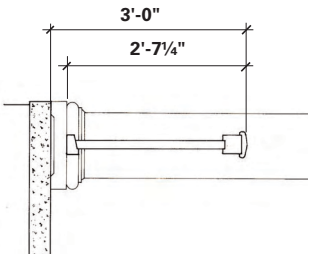
Shutters

Shutters are encouraged. If shutters are installed, they should be operable as well as sized and mounted to cover the adjacent window or door.



Ole Asheboro Colonial Revival

Rail Details



Porches

Porch Roofs & Eaves

Porches can be one or two stories tall with either flat, shed, or shallow hipped roofs. Shed or hipped porches typically have a 3 in 12 to 4 in 12 pitch.

Columns & Railings

Columns include 10- and 12-inch round Doric; 12-inch Ionic; three-quarter-height paired Doric; and 8- to 10-inch, full-height, tapered box columns.

Single-story porches have 8- to 9-foot tall columns, and columns on two-story porches are 8- to 9-feet tall on the ground floor and 8- to 9-feet tall on the second. For double porches with classical or tapered columns, 12-inch wide columns are used on the ground floor,

while 10-inch columns are used above.

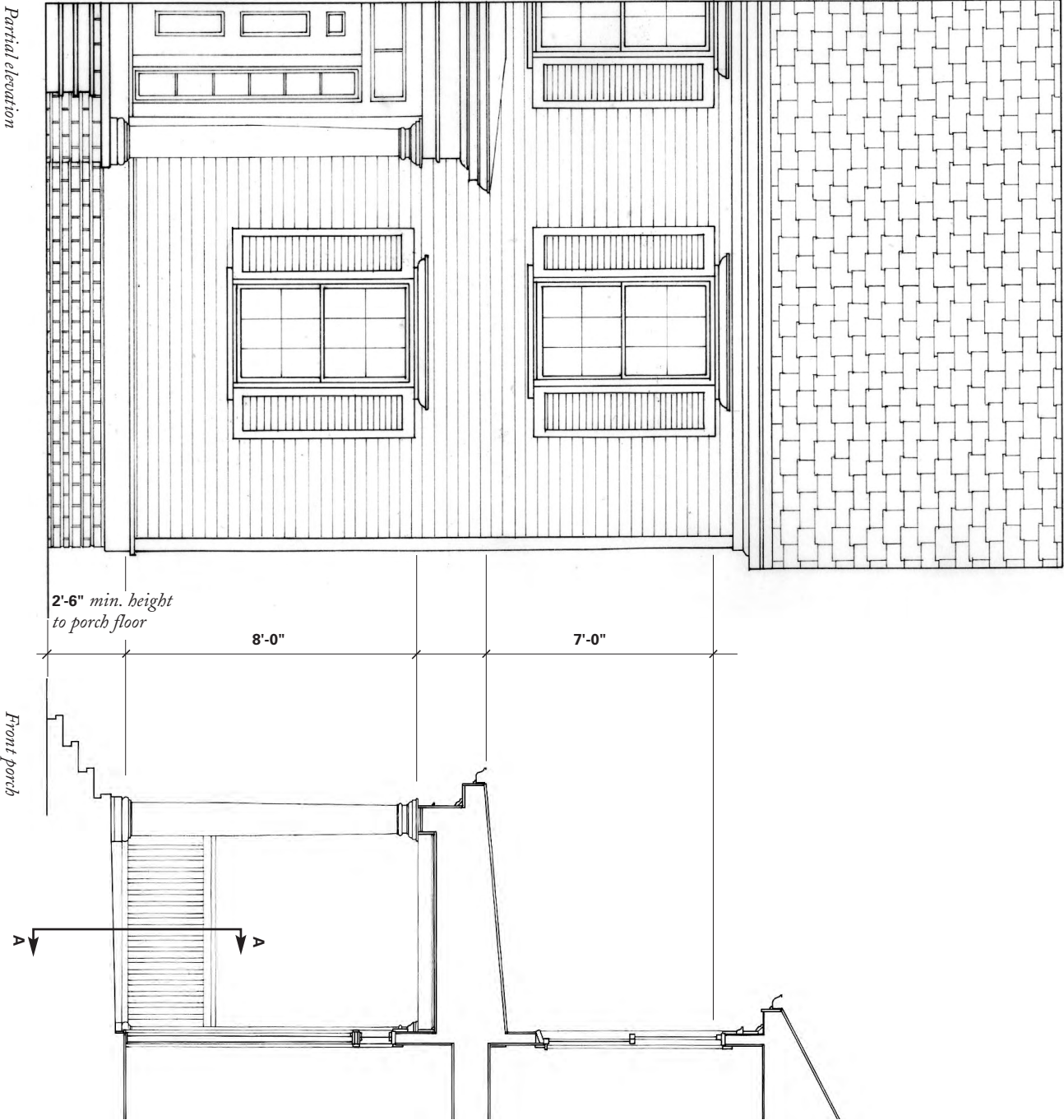
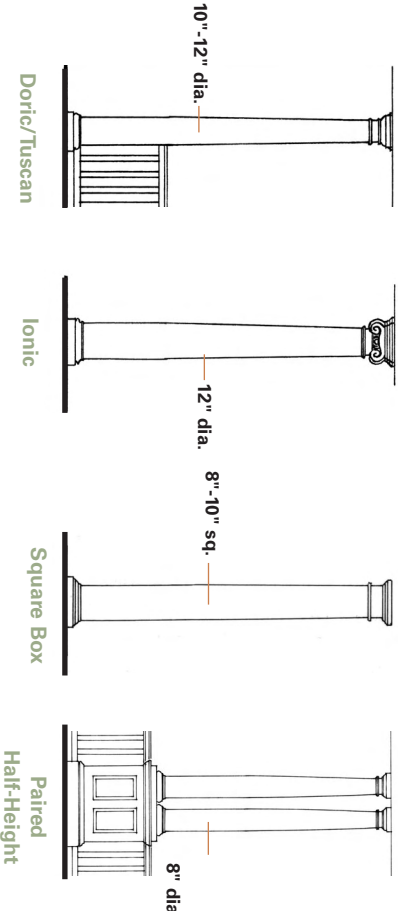
Porch column bays should be more narrow than wide. Balusters should be turned or square, and spaced no more than 4 inches on center.

Porch Location & Massing

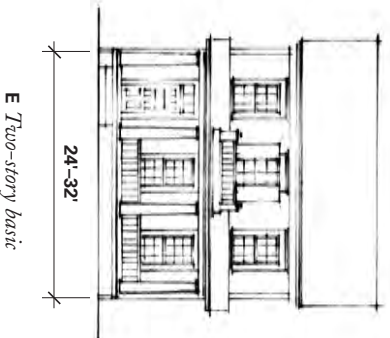
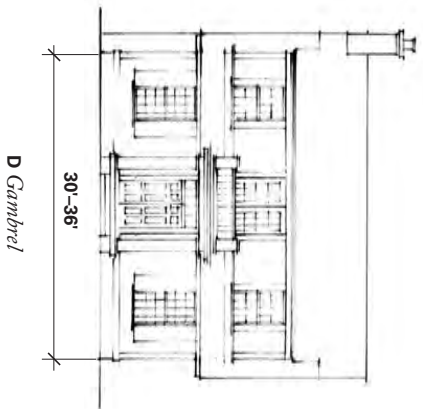
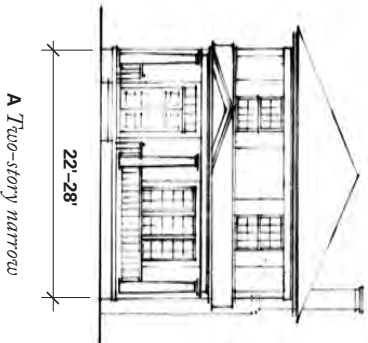
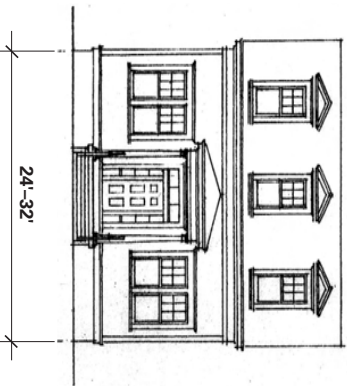
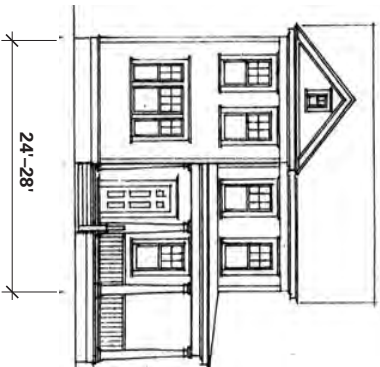
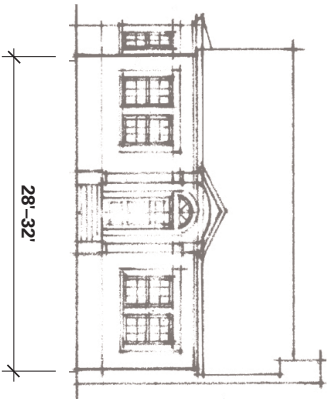
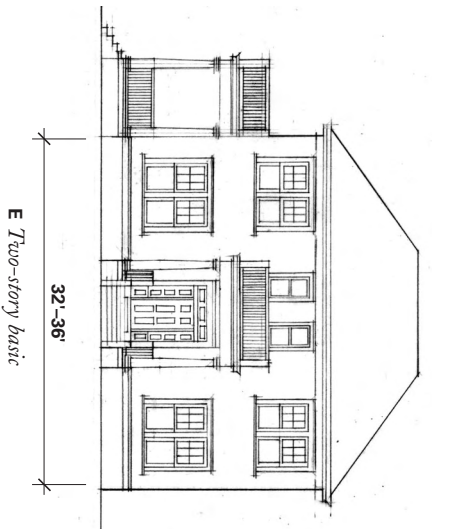
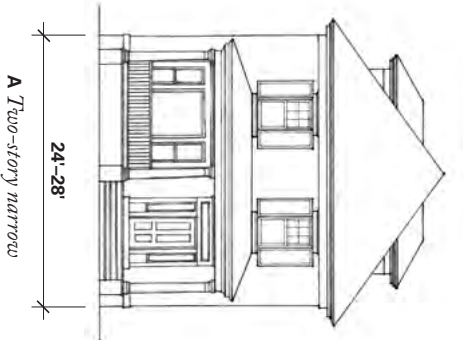
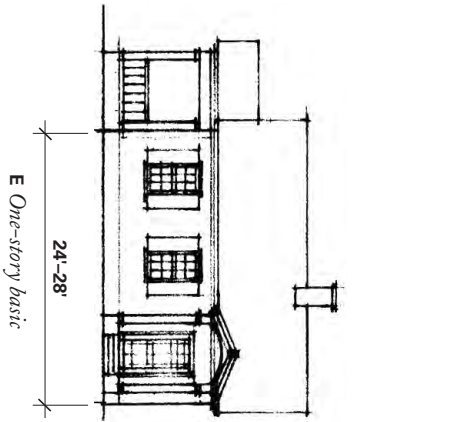
Full front porches are encouraged on Ole Asheboro Colonial Revival houses. Smaller porches should be centered in the massing bay in which they occur (see the Massing & Composition page).

Minimum porch depth is 8 feet. For wood deck porches, the gaps between brick piers are infilled with lattice panels. Solid porches should be faced in brick or stucco if appropriate.

Column Types



Ole Asheboro Colonial Revival



Materials & Possibilities

Materials

Siding: Stucco, wood, fiber cement board, or shingles. Quality vinyl products will be considered

Roofing: Cedar shakes; standing seam metal (black, red, or dark green), asphalt, or fiberglass shingles with a heavy profile to mimic natural materials. Concrete tile not permitted.

Windows: Double-hung; energy-efficient wood, PVC-clad, aluminum-clad, or aluminum, with external divided lights (1/4-inch muntins minimum) or solid vinyl

Trim: Stucco, wood, fiber cement board, composition board, or polymer millwork for built-up sections. Historic reproductions of polymer are also permitted.

Columns: Historic reproductions of wood, polymer, or fiberglass with classical entasis and proportions.

Railings: Wood-milled top and bottom rails with straight or turned balusters.

Soffits and Porch Ceiling: Smooth surface composition board, plaster, T&G wood, stucco, or polymer historic reproductions.

Gutters: Ogee or half-round primed or pre-finished metal. PVC is also acceptable in a color that matches trim.

Downspouts: Rectangular or round primed or pre-finished metal. PVC is also permitted in a color that matches trim.

Shutters: Historic wood, polymer, lightweight cement or fiberglass reproductions mounted as if operable.

Foundations: Concrete, brick, or stone veneer.

Chimneys: Stucco, brick, or stone.

Front Yard Fences: Wood, pre-finished metal, stone, or masonry.

Rear Yard Fences: Wood, pre-finished metal, or masonry.

Ole Asheboro Colonial Revival



Two-story gable L massing



Two-story gable massing with three-sided porch



One-story gable massing



One-and-one-half-story gable massing with front porch

Essential Elements

Carpenter Gothic

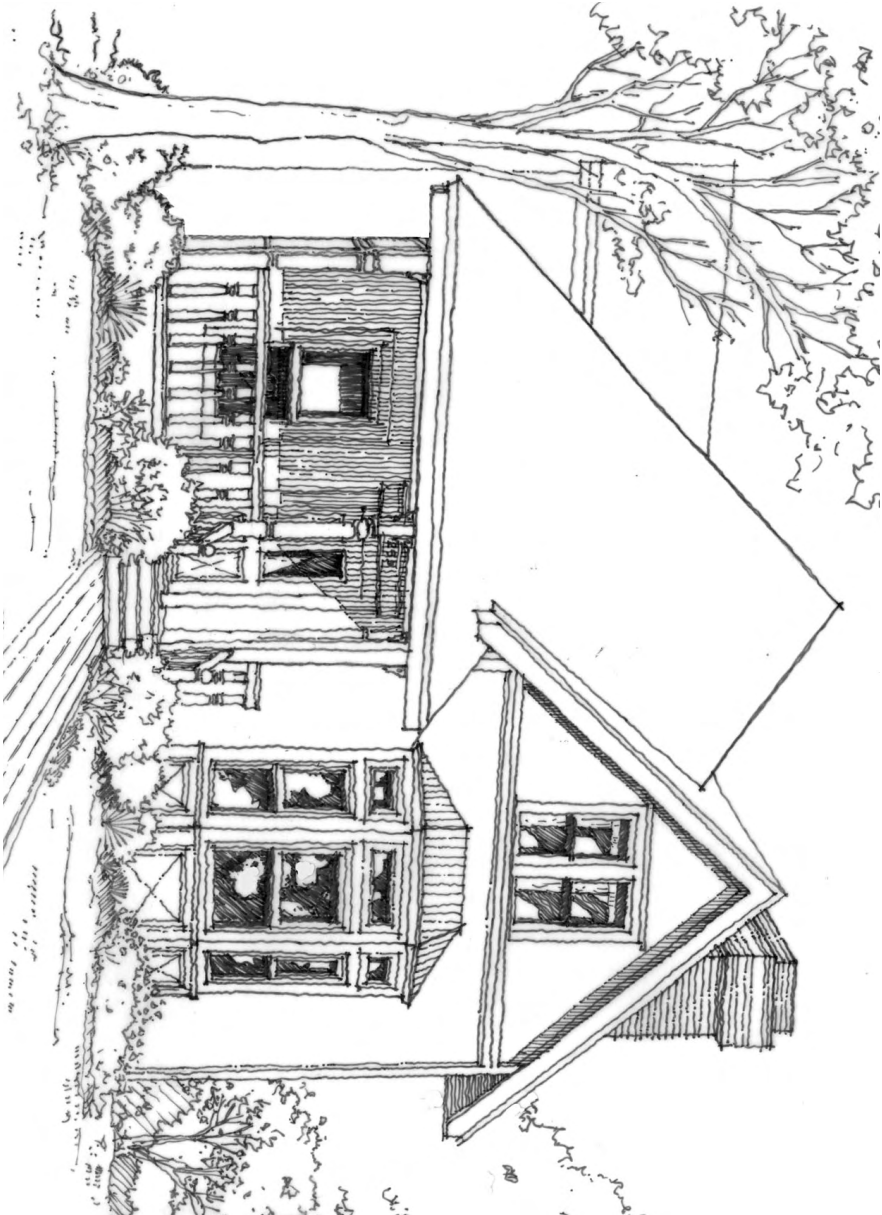
- Steeply pitched gable roofs
- Cut wood ornament, often with natural forms such as leaves and vines
- Wood clapboard or board-and-batten siding
- Vertical proportions for windows and doors
- Asymmetrical and complex massing and configuration of elements

Italianate

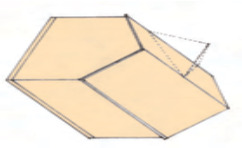
- Shallow pitched gable or hipped roofs
- Deep, ornate cornice with brackets
- Simple, rectilinear forms
- Vertical proportions for windows, which are often paired
- An orderly relationship among windows, doors, porches, and roof forms

History & Character

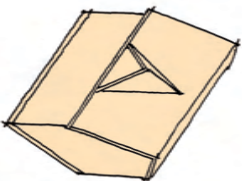
THE OLE ASHEBORO VICTORIAN HOUSE is designed in the tradition of Carpenter Gothic cottages and the Italianate Revival styles popular in the last half of the nineteenth century. These are the formal, urban houses found in the center of many North Carolina towns. Pattern Books by Andrew Jackson Downing and others provided a resource for building in these styles. Carpenter Gothic architecture was popular during this same time period and was also featured in Downing's Pattern Books. Many North Carolina towns and villages boast a rich variety of Victorian cottages. The house forms are playful and 'decorated' with ornamental cut wood on porches and steeply pitched gable ends and dormer, boasting a variety of siding and trim colors, even on simple-massed forms.



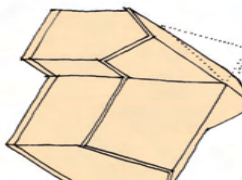
Ole Asheboro Victorian



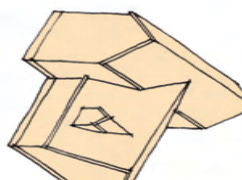
A Two-story basic



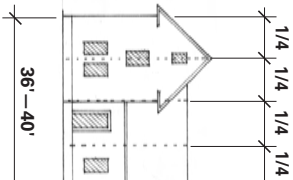
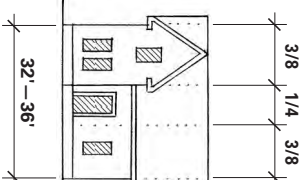
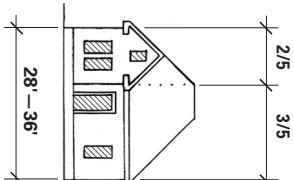
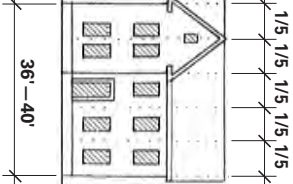
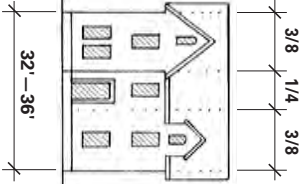
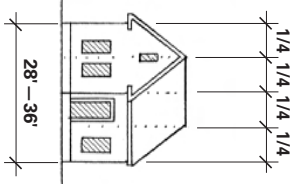
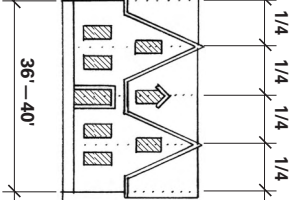
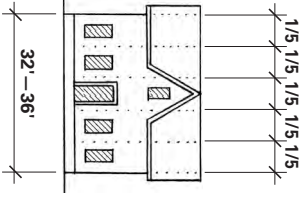
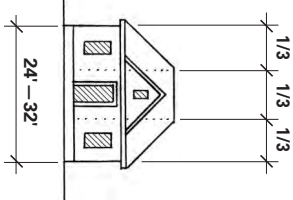
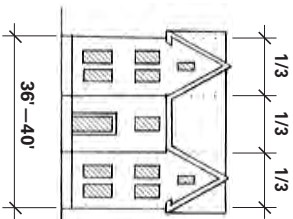
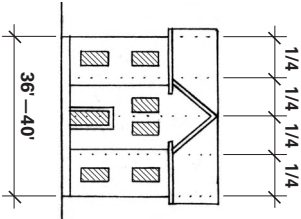
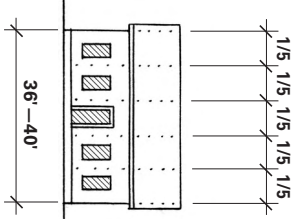
B One-and-one-half-story basic



C Two-story gable L



D One-and-one-half-story gable L



Massing & Composition

Massing

A Two-Story Basic

Hipped or side-gabled rectangular volume, often with a dormer flush to the front facade. Roof pitch is typically 8 to 10 in 12. Symmetrically placed gabled or shed dormer with 6 in 12 or 12 in 12 roof pitches. One-story shed or hip front porches from one-fifth to the full length of the main body.

B One-and-One-Half-Story Basic

Side-gabled rectangular volume, often with a dormer flush to the front facade. Roof pitch is typically 10 in 12 for the main body and 12 in 12 for the dormer. One-story shed or hip front porches from one-fifth to the full length of the main body.

C Two-Story Gable L

Cross-gabled volume with a 12 in 12 gable facing the street. The width of the gable facing the street is typically half that of the main body for houses up to 36 feet wide and two-fifths that of the main body for houses 36 feet wide and greater. This massing typically accommodates a continuous porch with shed roof located between the legs of the L. Corner house porches should wrap around the side of the house.

D One-and-One-Half-Story Gable L

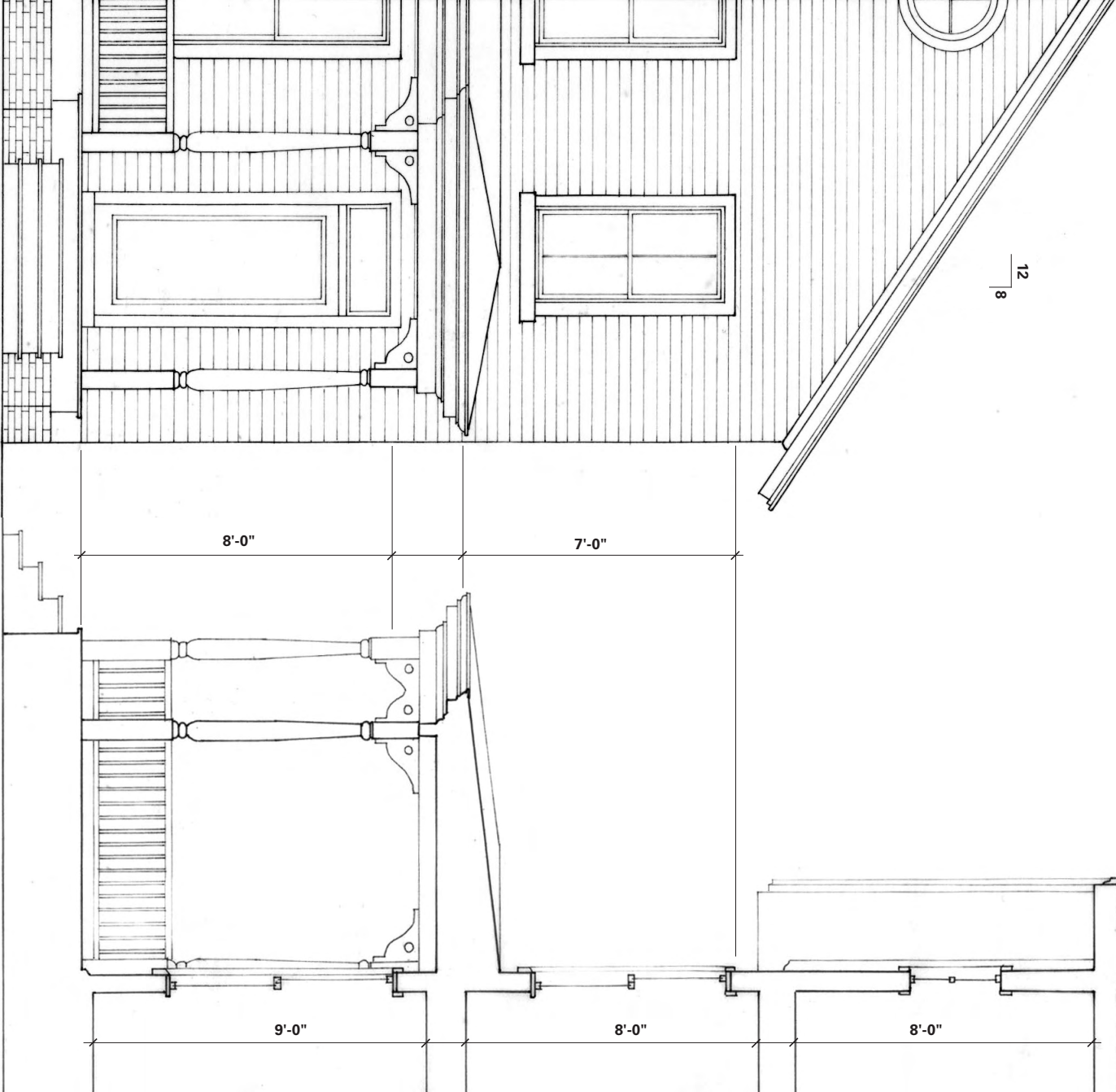
Cross-gabled volume with a 12 in 12 gable facing the street, often with a dormer flush to the front facade. The width of the gable facing the street is typically one-third that of the main body for houses up to 36 feet wide and two-fifths that of the main body for houses 36 feet wide and greater. Full front porches are typical between the legs of the L.

Composition

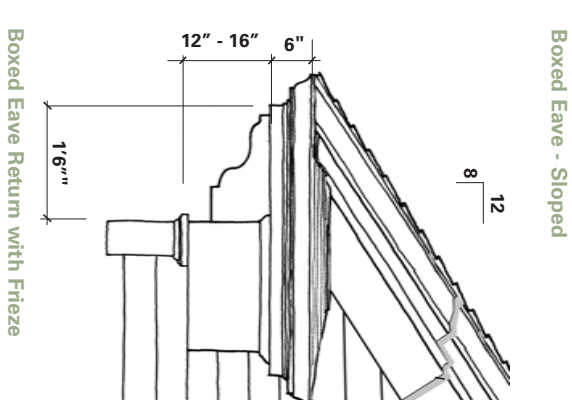
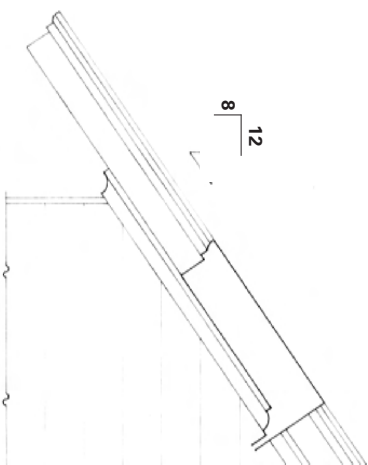
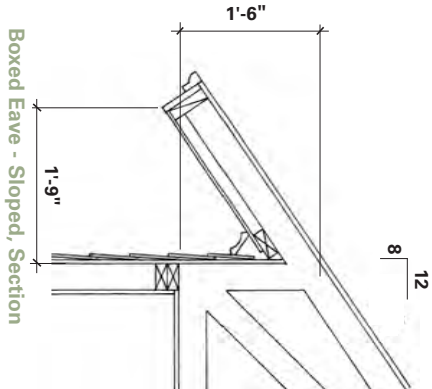
Victorian facade composition is characterized by a symmetrical and balanced placement of doors and windows. Individual double-hung windows are the most common type. Entrance doors are generally located in the corner of narrow houses and the center of wide houses. Bay windows are typically used on the ground floor. Paired windows are often used in the forward gable of the gable L (massing types C and D).

Ole Ashboro Victorian

Partial Elevation and Section



Eaves



Wall Section & Eave Details

Roof

The roof pitch on most Ole Asheboro houses varies from 8 to 12 in 12. Slate, shingles, and metal are appropriate roofing materials.

Eaves

Two eave types define this Victorian style, one more formal than the other.

The boxed eave, with frieze, is the more formal option. This eave typically has brackets, either horizontal or vertical in proportion. The boxed eave with sloped soffit is often hipped. Its rake features an overhang with a simple vergeboard. Eave profiles have a 12- to 16-inch frieze board. Eave returns should have metal flashing back to the wall at a maximum slope of 2 in 12.

Wall

For one-story buildings, the minimum floor-to-ceiling height is 10 feet. For buildings greater than one story, the minimum floor-to-ceiling height is 10 feet for the first floor and 9 feet for the second floor. Window head heights should be 8 feet for the first floor and 7 feet for the second floor. Corner boards should be no less than nominal 5/4 by 6 inches.

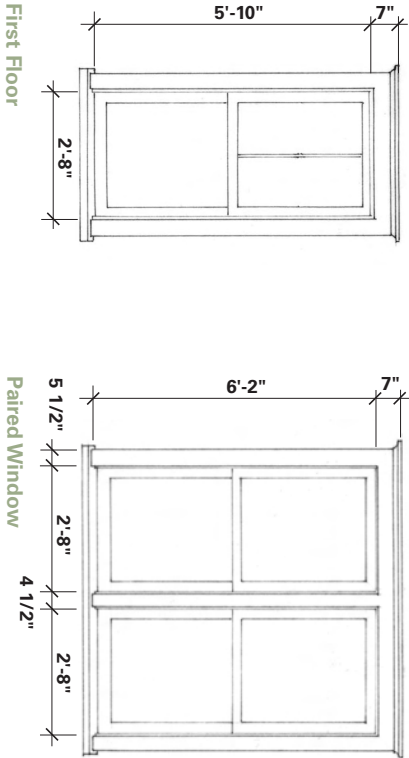
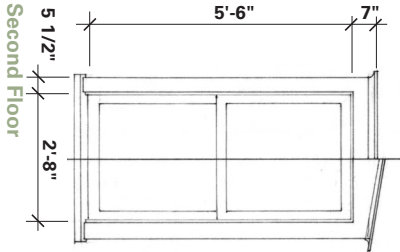
Base

The first floor of the Victorian house is set three feet above the finished grade. Victorian houses should have an 8-inch skirt board. When foundation vents are used, they should be centered under windows.

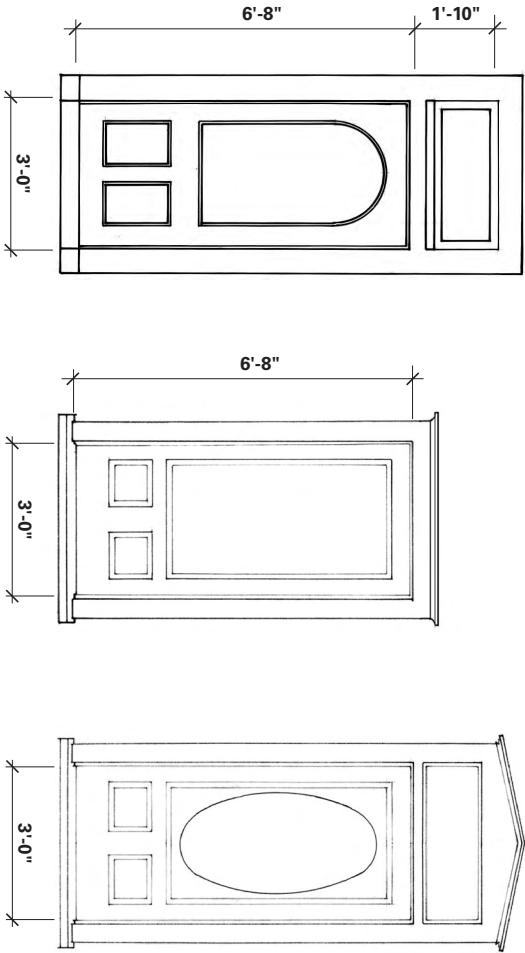


Ole Asheboro Victorian

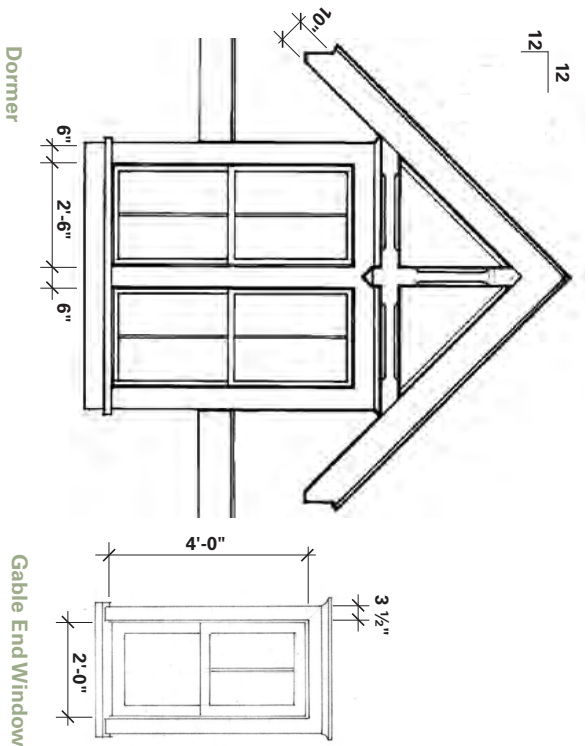
Windows



Doors



Special Windows



Windows & Doors

Standard Windows

Windows are typically vertical in proportion with narrow widths from 2 feet to 3 feet. Two basic window patterns are 1 over 1 and 2 over 2 double-hung with wide trim. The window often has a decorative header. Italianate houses often have windows with rounded upper sashes and ornate trim.

Special Windows

Special windows include box bay windows, paired dormer windows, and round top windows. Box bay windows have a continuous base to the ground.

Doors

Doors are centered in their bays and are either paneled or glazed wood doors. Double doors are often used as well as single doors with sidelights and transoms.

Trim

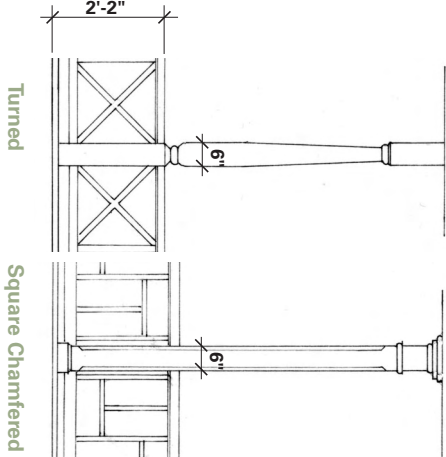
Windows and doors typically have a 5½-inch-wide trim with a cap molding.

Shutters

Painted, operable shutters are encouraged on single windows. Shutter styles can either be paneled or louvered.

Ole Ashboro Victorian

Column Types



Porches

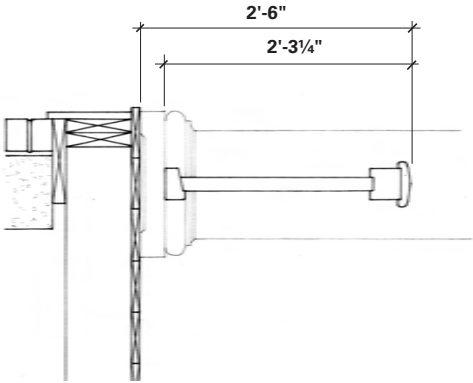
Porches

Porches can be one or two stories tall with flat, shed, or shallow hipped roofs. Full porches may be integrated under the house's main roof. Shed or hip porches have a 3 in 12 to 4 in 12 pitch. Exposed rafter tails are typically 2 x 8 and occur 14 to 16 inches on center. Entablatures are generally classically proportioned and detailed.

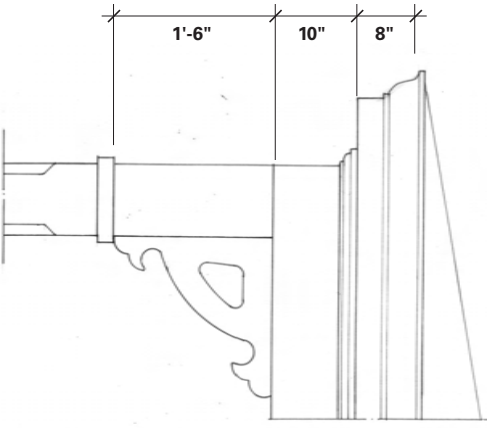
Columns & Railings

Column types include turned columns from 8-inch-square stock, 8-inch-square posts, and 8- to 10-inch-diameter Doric and Tuscan columns. First floor columns are 9- to 10-feet tall, while second floor columns are 8- to 9-feet tall. Turned or square balusters are spaced no more than 4 inches apart.

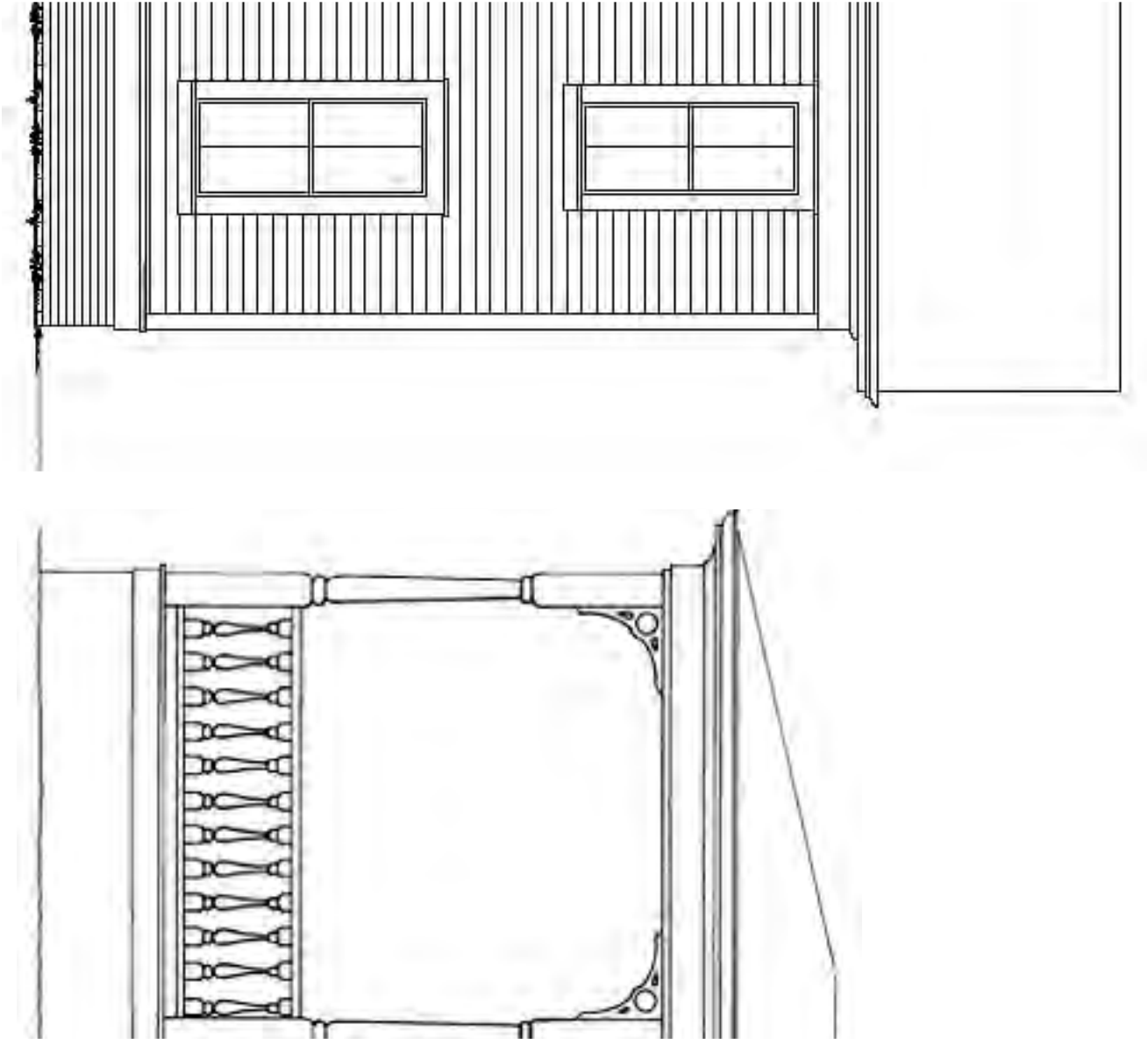
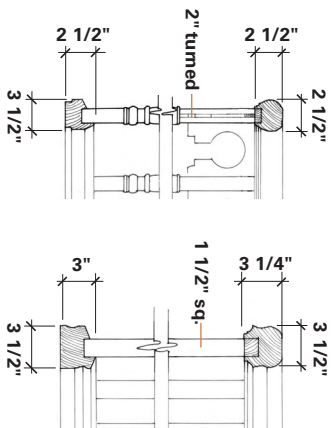
Porch Railing Section



Cornice Detail

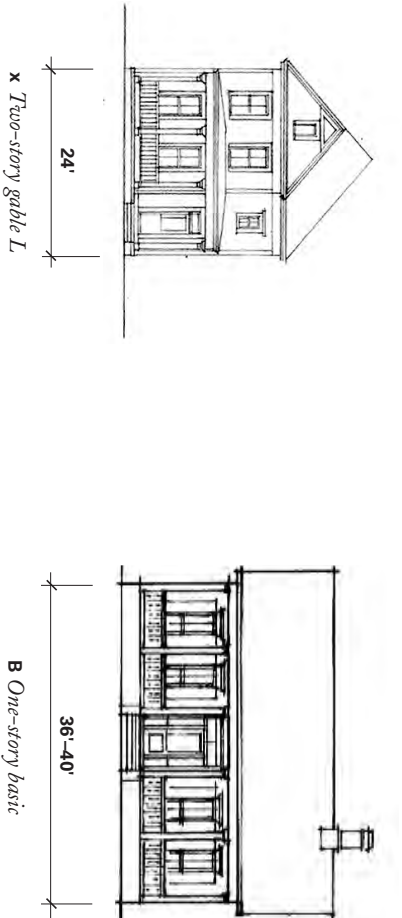
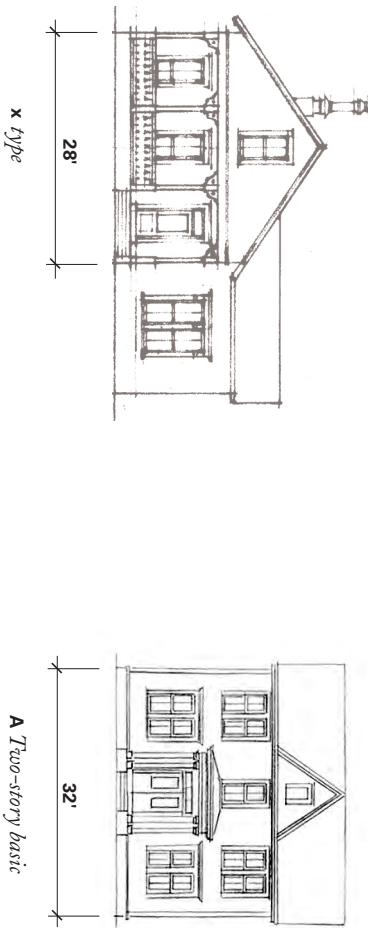
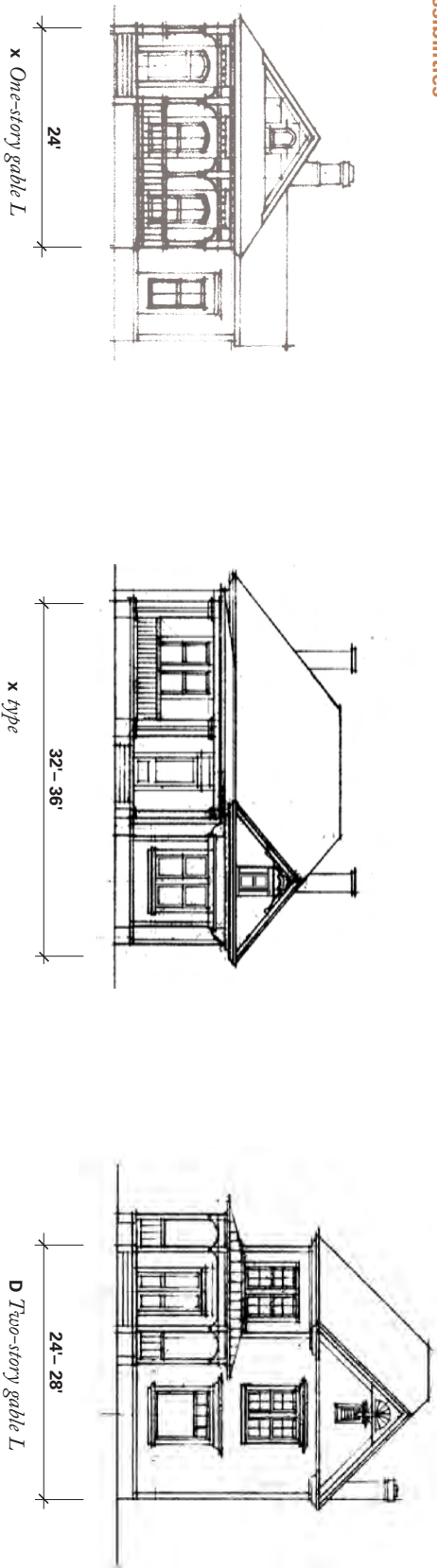


Rail Details



Ole Asheboro Victorian

Possibilities



Materials & Possibilities

Materials

Shutters: Panel or louver, painted; encourage mounting as if operable; or operable. Width of shutter equals 50% of sash width.

Siding: Wood, composition board, fiber-cement board, or vinyl with beveled, shiplap or beaded lap profile. Common brick in Flemish, Common or English bond patterns.

Roofing: Metal, slate, asphalt, or fiber-glass shingles.

Windows: Divided light sash with sill or GBG or solid vinyl

Trim: Wood, composition board, fiber-cement board, and molded millwork for built-up sections; corner boards 5/4 x 6 inches.

Soffits and Porch Ceilings: GWB, plaster, T&G wood or composite (continuous perforated soffit materials not permitted).

Gutters: Half round or ogee profile in metal.

Downspouts: Round or rectangular in metal.

Foundations: Common brick, stone/cast stone on front facade and side street facade when on corner lot.

Columns: Wood, fiberglass, or composite.

Railings: Wood, metal, or other composite materials that meet dimensional and shape requirements of precedents.

Chimneys: Common brick and stone/cast stone.

Front Yard Fences: Painted white picket, or pre-finished composite material such as PVC or vinyl and metal.

Rear Yard Fences: Painted wood, white composite material such as PVC or vinyl; pre-finished metal.

Ole Ashboro Victorian



Two-story front gable with full front porch



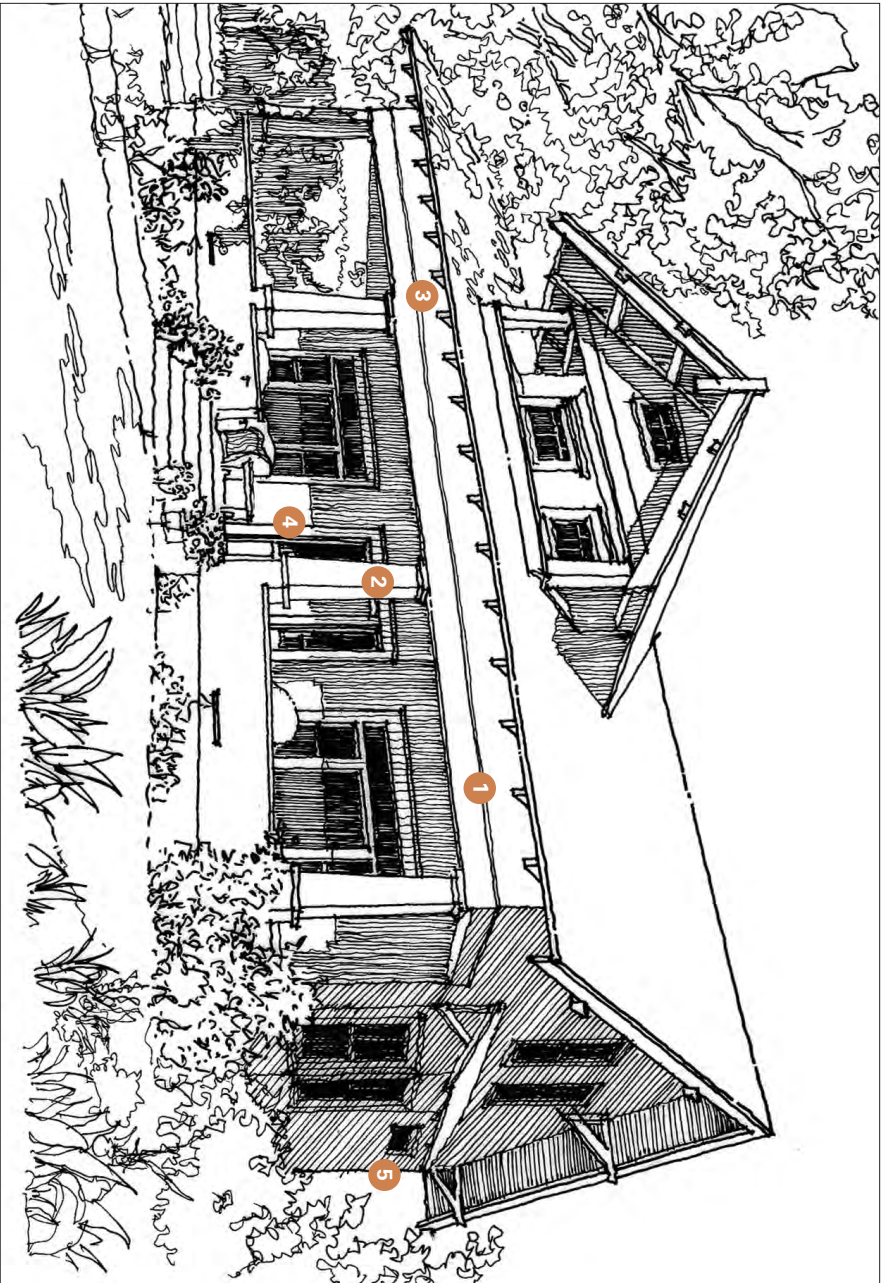
One-and-one-half-story front gable massing with side porch



One-story front gable L massing with front porch



One-and-one-half-story side gable with wraparound porch (Fisher Park)



Typical Craftsman house with let-in porch

Essential Elements of Ole Asheboro Craftsman

- 1 Shallow-pitched roofs with deep overhangs
- 2 Deep, broad porch elements with expressive structural components
- 3 Expressive structural elements such as brackets, exposed rafter tails, and columns
- 4 A mixture of materials such as brick, shingles, and siding
- 5 Asymmetrically balanced window and door compositions

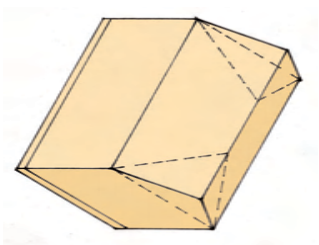
History & Character

OLE ASHEBORO CRAFTSMAN HOUSES are derived from the traditions of bungalow design found throughout North Carolina. During the early twentieth century, many local builders picked up elements of the style from house plan publications and mail order house plans. The Arts & Crafts movement espoused a simple, decorative expression of structural elements and built-in furniture found suitable for estate and cottage homes. While the region is home to many small Craftsman cottages, it also features a wide variety of full two-story types and larger estate houses designed and built during this period.

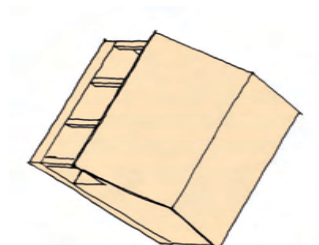
The Ole Asheboro Craftsman is characterized by broad, open porches with brackets, roofs with deep overhangs and exposed rafter tails or decorative brackets, asymmetrical compositions, grouped windows with a variety of upper muntin patterns, and expressive trim.

Ole Asheboro Craftsman

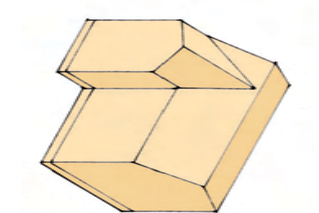
Massing Diagrams



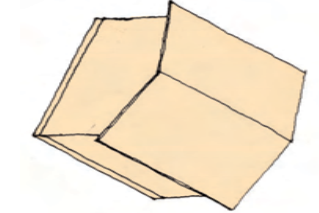
A Two-story Basic



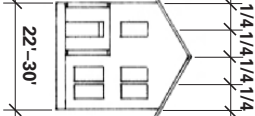
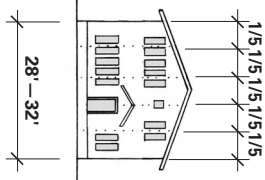
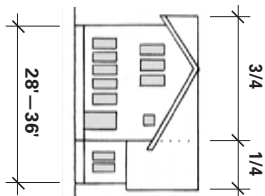
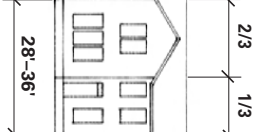
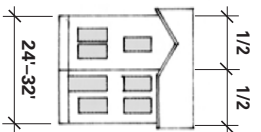
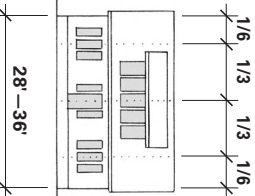
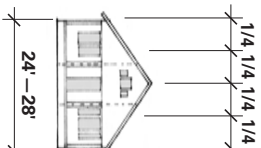
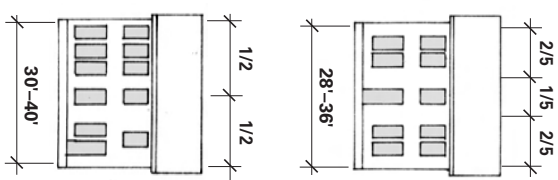
B One-and-one-half-story side gable



C Two-story Wide Gable-L



D Two-story front gable



Massing & Composition

Massing

A Two-story Basic

Side-gabled rectangular volume with roof pitch of 6 to 8 in 12. One-story, gabled front porches, typically placed to one side. Porches are most often a minimum of two-fifths the length of the main body, and, occasionally, the entire length of the front facade.

B One-and-One-Half-Story Side Gable

Square volume with a 3 to 5 in 12 side-gabled roof. Integral front porch that ranges from half to the full length of the front facade. Symmetrically placed gabled or shed dormer with 3 in 12 roof pitch.

C One-and-One-Half-Story Gable L

Cross-gabled volume with a 6 in 12 gable facing the street. Cross gable can have a lower slope. The width of the gable facing the street is typically half that of the main body for houses up to 32 feet wide and two-fifths that of the main body for houses 36 feet and over. This massing accommodates a variety of porch options, often with a gable emphasizing the entrance.

D Two-story Front Gable with Add-On

Gabled, one-story volume attached to a gabled, two-story volume of the same width. Roof pitches are typically 5 in 12. Gabled front porches are placed asymmetrically on the front facade.

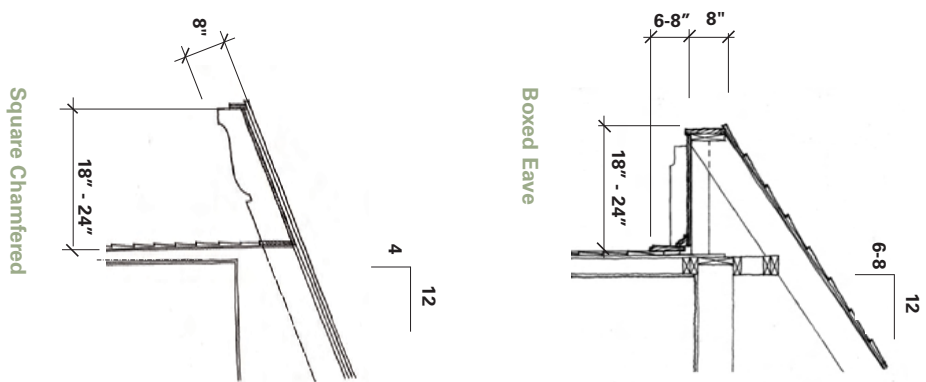
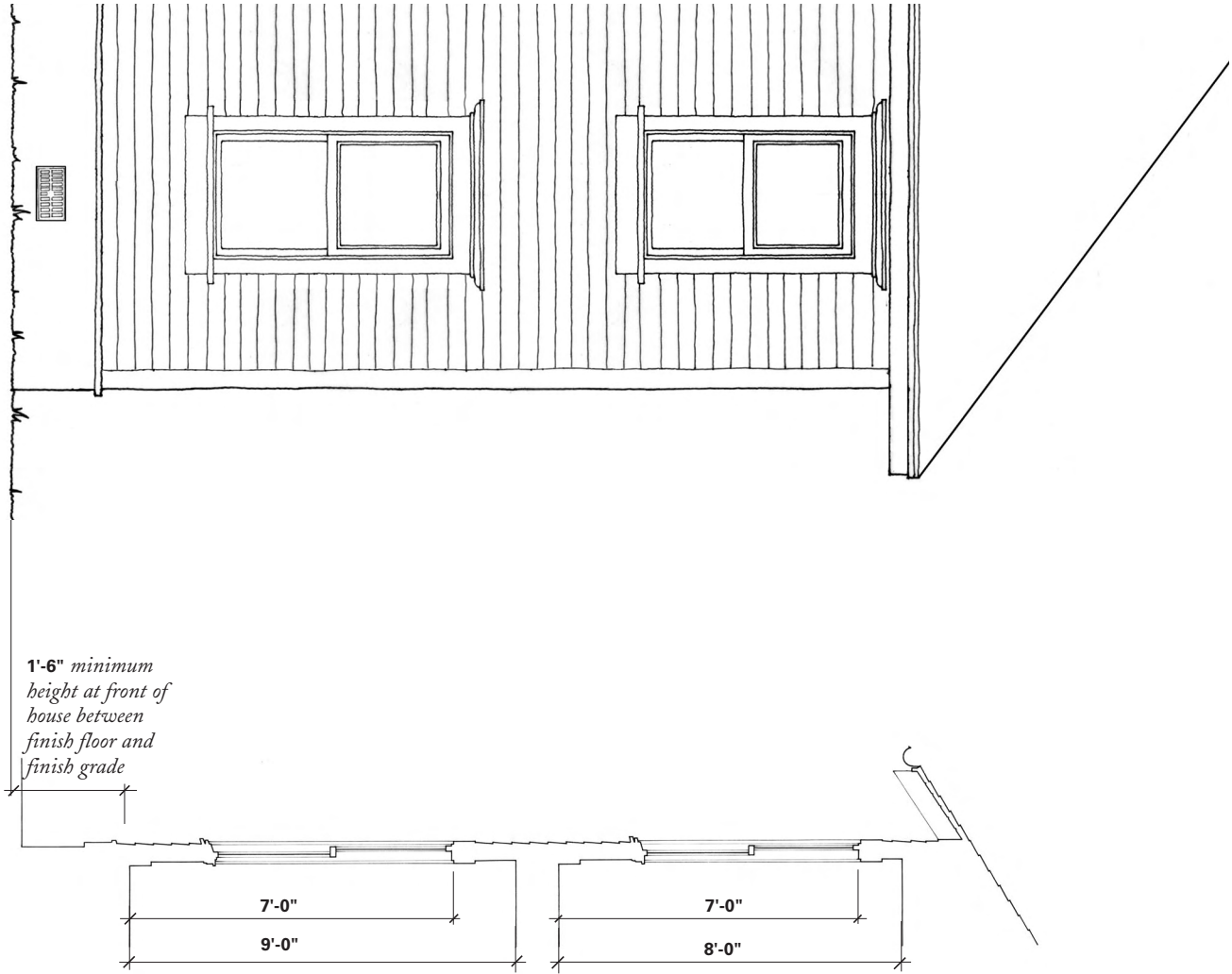
Facade Composition

Craftsman facade composition is characterized by an asymmetrical yet balanced placement of doors and windows. Typically, windows occur in pairs and multiples, or as sidelights for oversized ground floor windows. Entrance doors are most often under porches and off-center.

Combinations

Complex forms and larger living spaces may be created by combining side and/or rear wings with the main body. Gabled or shed dormer may be added to introduce light into half-story and attic spaces. The architectural character of the attached parts should match that of the main body. Wings must also conform to setback requirements.

Ole Ashboro Craftsman



Wall Section & Eave Details

Roof

The roof pitch on Craftsman houses varies from 4 to 8 in 12. For Gable L forms, the pitch on the street facing gables range from 4 to 6 in 12. Gable and shed dormer help to introduce light into half-story and attic spaces.

Eaves

Deep eaves are a dominant characteristic of Craftsman houses. There are two types of eaves in the style:

- A** Boxed eave with a 24-inch deep slope.
- B** Exposed 2 x 8-inch rafter tails set 16 to 24 inches on center and cut perpendicular to the ground.

Eave profiles have an 8- to 12-inch frieze board above the window head trim. This frieze board may either touch the window head trim directly or rest 8 inches above.

Wall

One-story houses have a minimum floor-to-ceiling height of 9 feet. Two-story houses have a minimum floor-to-ceiling height of 9 feet on the first floor, and 8 feet on the second floor. Standard window head heights are 7 feet on the first floor, and 7 feet on the second floor.

On clapboard houses, corner boards should be no less than nominal 5/4 by 6 inches. On two-story houses, material, color, or trim changes near the second floor sill or first floor window head lines help give Craftsman houses their distinctive low, horizontal character.

Base

The first floor of the Craftsman house is set 24 inches above finished grade. Skirtheards are uncommon. Clapboard or shake cladding materials should not come within 8 inches of finished grade; only durable materials like brick, stone, and stucco may come into direct contact with the soil. Foundation vents are centered under windows when used.

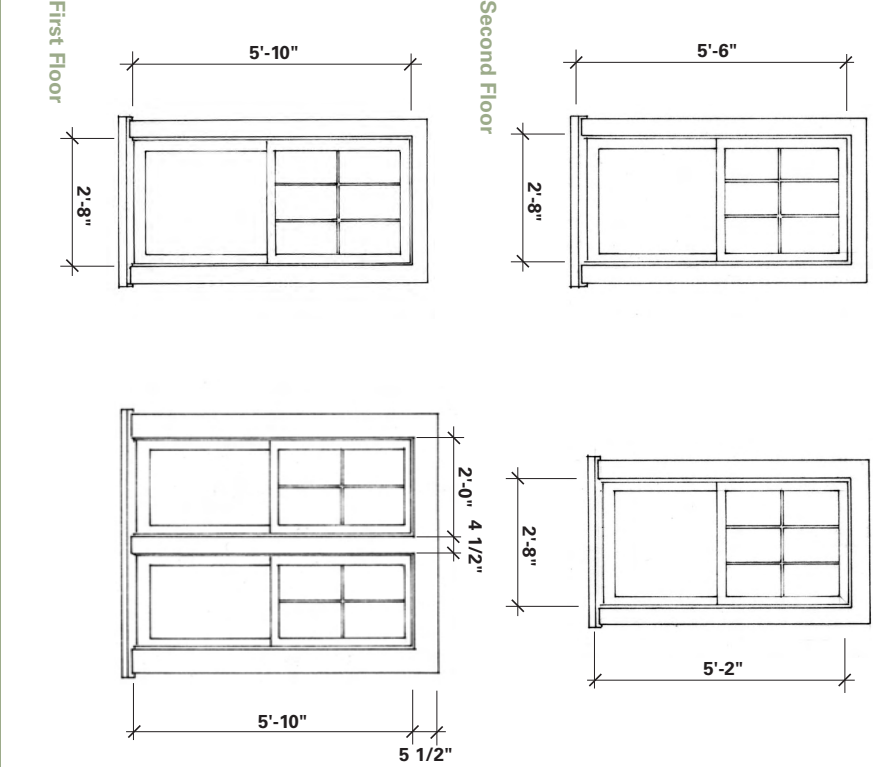


Typical Craftsman eaves

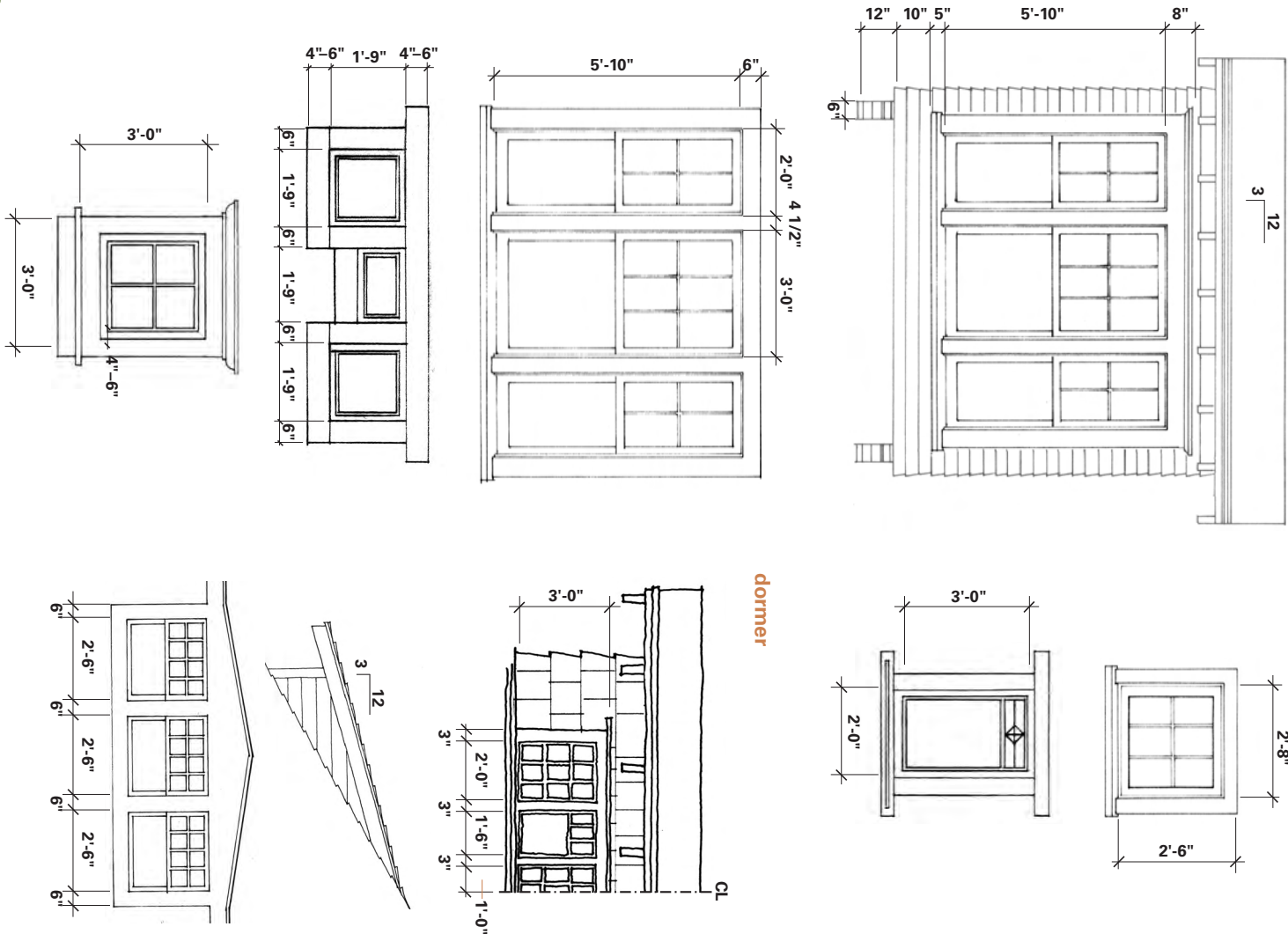


Ole Asheboro Craftsman

Windows



Special Windows



Windows & Doors

Standards Windows

Windows on the first floor are usually either ganged together in 3-, 4-, or 5-window combinations or are entirely composed of large picture windows. Windows on the second floor may be single, paired, or triples. Special accent

windows are incorporated into the composition. Window pane patterns include 6 over 1, 3 over 1, 1 over 1, and 8 over 1. Dormer windows are ganged together in wide gable or shed dormer.

Special Windows

Special windows include angled bay windows, picture windows, double-hung windows, and small, square, and rectangular accent windows. Picture windows are typically paired with sidelights and transoms, and have a special pane pattern, or stained glass upper sash.

Doors

Craftsman doors are often stained wood with either a plank or panel design.

Doors may have decorative, leaded glass sidelights and transoms in Arts & Crafts patterns.

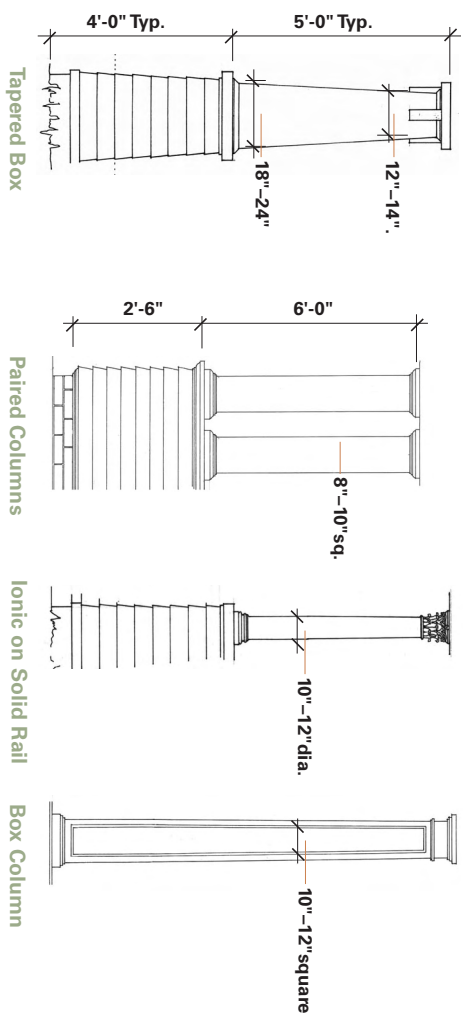
Trim

Two styles of trim provide variety across Craftsman houses: a formal 6-inch wide trim with simple cap mold, or a tapered 6-inch wide board.



Ole Asheboro Craftsman

Column Types



Porches

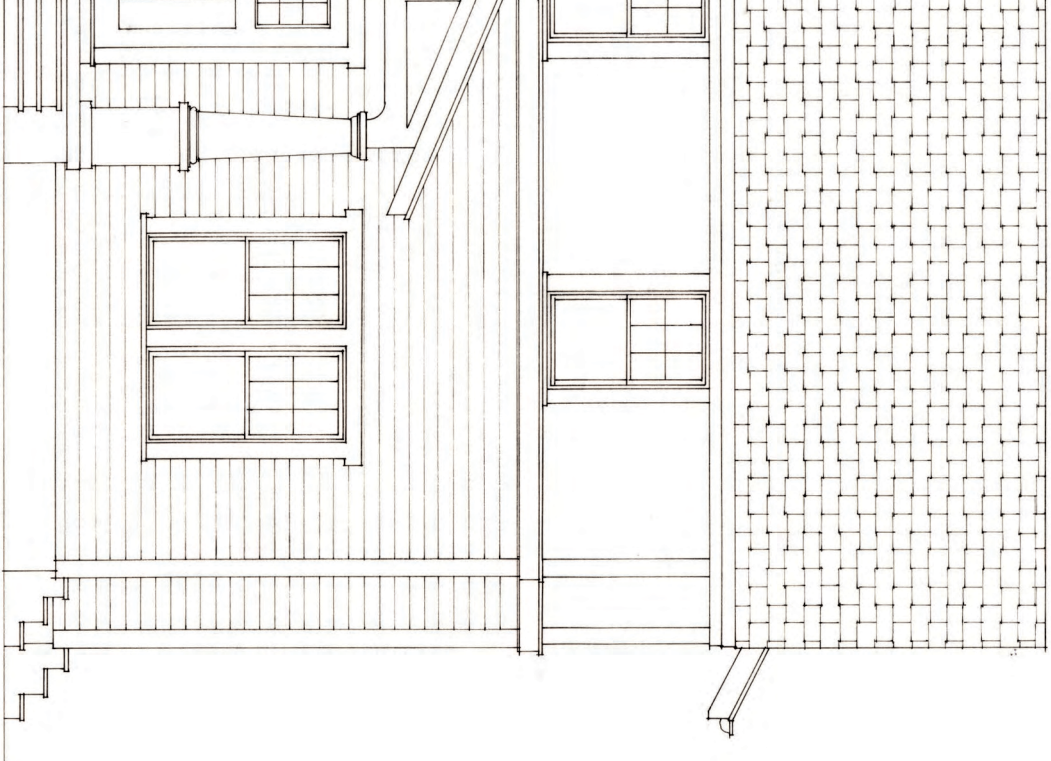
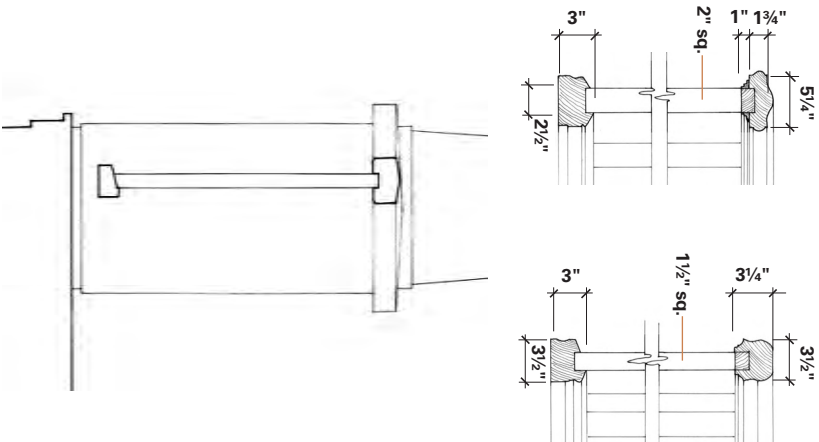
Porches

Porches may have gable-end, shed or combinations of the two roof forms. Typically, porches have deep eaves with the same rafter or cornice treatment as the body. Gable-end porches are designed to express the structural elements.

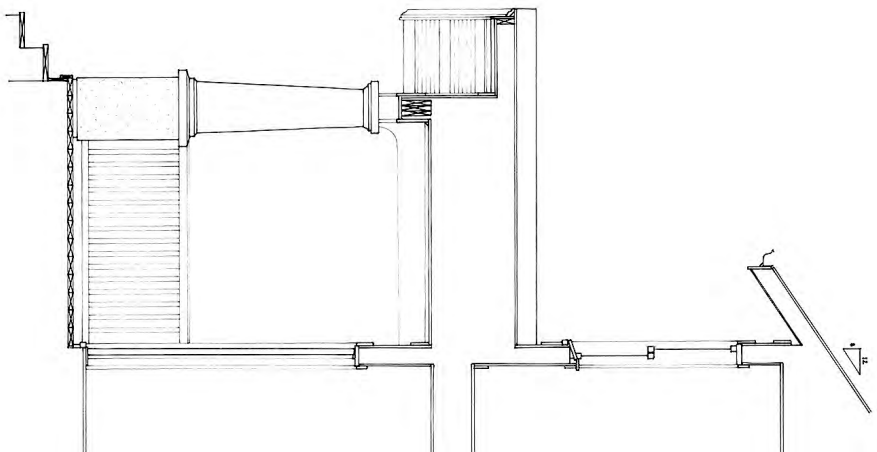
Columns & Railings

Column types include square posts (often in pairs or multiple groupings), tapered box columns, and round Tuscan columns. Victorian-era bungalows have Ionic or Corinthian columns typically set on top of square piers or solid porch railings/surrounds. Porches using the Ionic or Corinthian orders are typically

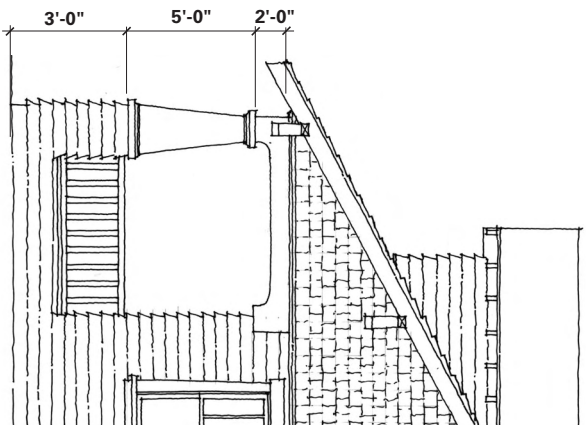
Rail Details



Partial elevation



Building section

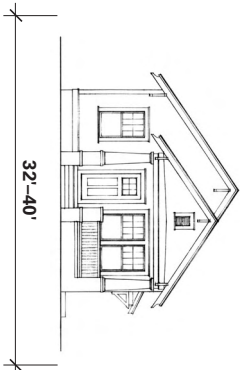


Inset Porch

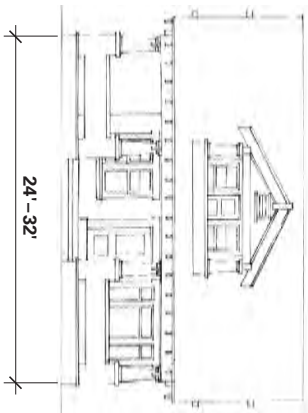


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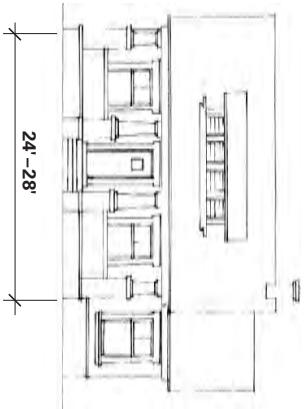
Possibilities



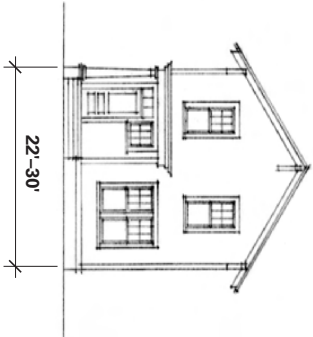
A Two-story side gable



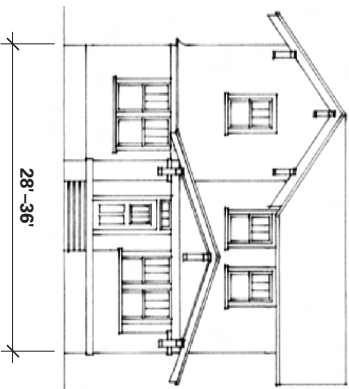
B One-and-one-half-story side gable



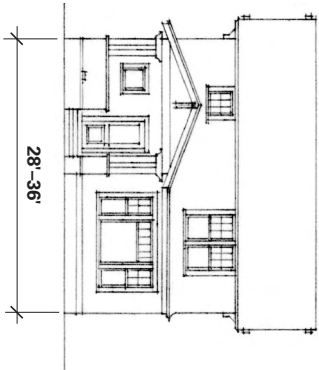
B One-and-one-half-story side gable



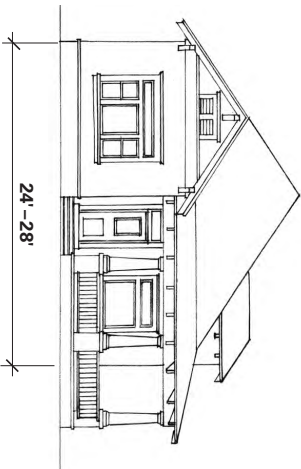
A Two-story basic



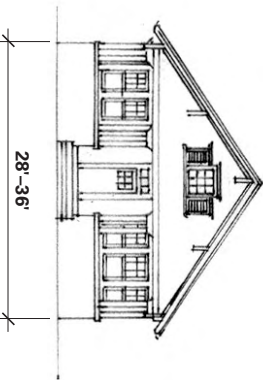
D Two-story wide gable L



A Two-story basic



D Two-story wide gable L



B One-and-one-half-story front gable

Materials & Possibilities

Materials

Siding: Shingles, wood, or fiber cement board; a base for porches and supports for half columns. Quality vinyl products will be considered.

Roofing: Cedar shakes or asphalt/fiber-glass shingles.

Windows: Double-hung, energy-efficient wood; PVC; aluminum-clad or aluminum, with external divided lights (¼-inch muntins) or solid vinyl

Trim: Wood, fiber, cement board, composition board, or polymer millwork for built-up sections; historic polymer reproductions are also permitted.

Columns: Wood, fiberglass, or composition board box columns; historic polymer or fiberglass reproductions of round columns are also permitted.

Railings: Wood top rails with square balusters on solid railings of wood, cut

shingle, siding, or brick.

Soffits and Porch Ceiling: Boxed soffits are smooth. Exposed eaves should have a beaded board appearance.

Gutters: Ogee, half-round primed, or pre-finished metal; PVC is also acceptable in a color that matches the trim.

Downspouts: Rectangular, round, primed, or pre-finished metal; PVC is also permitted in a color that matches the trim.

Shutters: Historic wood, polymer, or fiberglass reproductions mounted as if operable.

Foundations: Parged concrete or brick veneer.

Chimneys: Brick.

Front Yard Fences: Wood, pre-finished metal, stone, or masonry.

Rear Yard Fences: Vinyl, painted wood, pre-finished metal, or masonry.

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